

- GENERAL NOTES:**
- BOUNDARY SURVEY IN ACCORDANCE WITH DESCRIPTIONS CONTAINED IN DEED BOOK 5520 PAGE 1447 AND WITHOUT BENEFIT OF A TITLE REPORT.
 - REFERENCE MONTGOMERY COUNTY RECORDED PLAN IN PLAN BOOK A-54, PAGE 53; SUBDIVISION PLAN FOR VRJ ASSOCIATES DATED 2-25-92 AND LAST REVISED 10-13-92 BY YERKS ASSOCIATES, INC.
 - OWNER OF RECORD: VRJ ASSOCIATES, LP
401 SOUTH SCHUYLKILL AVENUE, NORRISTOWN, PA. 19403
 - TOTAL TRACT AREA: 91.846 AC. TO TITLE LINES, COMPRISED OF TAX MAP ID NO. 63034 071 = 83.892 AC. TAX MAP ID NO. 63034 003 = 7.754 AC. SOUTH SCHUYLKILL AVENUE RIGHT OF WAY AREA = 0.70 ACRES PORT INDIAN ROAD RIGHT OF WAY AREA = 0.61 ACRES
 - TOPOGRAPHY PHOTOMETRICALLY COMPILED BY PROMAPS, INC. FROM AERIAL PHOTOGRAPHY CONTROLLED BY AND SUPPLEMENTED WITH GROUND SURVEYS BY EDWARD B. WALSH AND ASSOCIATES, INC. (EBWA)
 - PROJECT BENCH MARK IS THE RIM OF AN EXISTING SANITARY SEWER MANHOLE SITUATE IN SOUTH SCHUYLKILL AVENUE, 90' SOUTHWEST OF GOLF CLUB DRIVEWAY. ELEVATION - 172.71 WEST NORRITON TOWNSHIP SANITARY SEWER DATUM.
 - THE PROPOSED BUILDING WILL CONNECT TO THE PUBLIC SANITARY AND PUBLIC WATER SUPPLY.
 - ANY OFFSITE ROAD IMPROVEMENTS THAT ARE NECESSARY FOR DEVELOPMENT OF THIS PROPERTY AS SHOWN WILL BE DESIGNED AND PROVIDED ON SEPARATE PLAN SETS FOR REVIEW.
 - IT IS NOTED THAT WILLIAMS GAS PIPELINE MUST APPROVE THE PROPOSED DISTURBANCES NOTED IN THE PIPELINE RIGHT OF WAY AREA.
 - THE PROPOSED FACILITIES AND IMPROVEMENTS WILL BE OWNED AND MAINTAINED AS A PRIVATE FACILITY.
 - NO TOPSOIL MAY BE REMOVED FROM THE SITE.
 - INCLUDED WITH THIS APPLICATION IS THE CONSOLIDATION OF PARCELS 003 AND 071 INTO ONE PARCEL. THE CONSOLIDATION WILL OCCUR WITH THE RECORDATION OF THIS PLAN SET.
 - A BLANKET EASEMENT IS PROVIDED OVER THE TRACT TO ALLOW THE TOWNSHIP ACCESS TO ALL STORMWATER MANAGEMENT FACILITIES.
 - UPON COMPLETION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AN AS-BUILT SURVEY MUST BE PERFORMED. AS-BUILT PLANS MUST BE PREPARED AND SUBMITTED TO THE TOWNSHIP TO CONFIRM THE CONSTRUCTION IS GENERALLY IN CONFORMANCE WITH THE APPROVED PLANS.
 - THE ROOF DRAINS ON THE EXISTING AND PROPOSED BUILDINGS WILL DISCHARGE AT GRADE AT THE BUILDINGS. THE GROUND WILL BE SLOPED AWAY FROM THE BUILDINGS TO ENSURE PROPER DRAINAGE.
 - CONCRETE MONUMENTS SHALL BE SET AT ALL TRACT CORNERS (NOTED BY THE SYMBOL "■"), WHERE EXISTING IRON PINS ARE FOUND THE PIN MUST BE ENCASED IN CONCRETE PER TOWNSHIP CODE.
 - THE LAND DEVELOPMENT APPROVAL WILL REQUIRE APPROVALS FROM DEP FOR ACT 537 PLANNING AND AN NPDES PERMIT. CONSERVATION DISTRICT APPROVAL PER DEP CHAPTER 102 IS REQUIRED IN CONJUNCTION WITH THE NPDES PERMIT.
 - A SITE INVESTIGATION TO DETERMINE IF WETLANDS ARE PRESENT ON THE TRACT WAS COMPLETED BY QUALIFIED STAFF WITH EDWARD B. WALSH & ASSOCIATES, INC. IN MARCH 2012. NO WETLAND AREAS WERE FOUND ON SITE. IT IS NOTED THAT THE VEGETATION ABOVE THE EXISTING POND DOES NOT CONSTITUTE WETLANDS GIVEN THE WATER DEPENDENCY FROM A MANMADE WATER SOURCE.
 - THE LOCATION OF FIRE HYDRANTS IS TO BE FINALIZED WITH THE FIRE MARSHALL DURING THE FINAL PLAN PROCESS.
 - THE SOILS BOUNDARIES AND CLASSIFICATIONS PROVIDED ARE TAKEN FROM THE NRCS WEBSITE.

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OWNERS' CERTIFICATION OF STORMWATER MANAGEMENT PLAN

"I/WE ACKNOWLEDGE THAT ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN, THAT THE STORMWATER MANAGEMENT FACILITIES CONTAINED IN THIS PLAN ARE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY WEST NORRITON TOWNSHIP OR ITS DESIGNEE, AND THAT WE ARE RESPONSIBLE FOR THE PROPER MAINTENANCE AND INSPECTION OF THESE STORMWATER MANAGEMENT FACILITIES, BOTH DURING AND AFTER CONSTRUCTION, PER THE MAINTENANCE SCHEDULE CONTAINED IN THIS PLAN. I/WE FURTHER ACKNOWLEDGE THAT DURING ALL SUBSEQUENT REAL ESTATE TRANSACTIONS, THE EXISTENCE OF THESE STORMWATER FACILITIES AND THEIR MAINTENANCE RESPONSIBILITIES SHALL BE DISCLOSED TO THE NEW OWNERS."

ACT 287 SERIAL NUMBER: 20110770127
 EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS, NOR DOES E. B. WALSH & ASSOC., INC. GUARANTEE THAT ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN.
 CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.

UTILITIES NOTIFIED

WEST NORRITON TWP.
 PA AMERICAN WATER
 COMCAST
 PECO
 NORTH RIDGE EST. CONDOMINIUM
 NEWEN TRANSCOM
 TRANSCONTINENTAL/WILLIAMS GAS
 VERIZON

OWNER/APPLICANT

VRJ ASSOCIATES, LP
 401 SOUTH SCHUYLKILL AVENUE
 NORRISTOWN, PA. 19403
 610-630-7911

STATE OF PENNSYLVANIA
 COUNTY OF MONTGOMERY

On the ____ day of _____, 20____, before me the underscriber, a notary public of the Commonwealth of Pennsylvania, residing in _____, personally appeared _____, who acknowledged this plan to be the official plan of the highways and property shown hereon situate in the Township of West Norristown, Montgomery County, Pennsylvania, and desired that this plan to be recorded according to law.

Witness my hand and notarial seal the day and year aforesaid.

Notary Public _____
 My commission expires _____

Recorded this ____ day of _____, 20____, in the office for the recording deeds, etc., in and for the County of Montgomery in Norristown, Pennsylvania, in Plan Book No. _____ Page _____

Recorder _____

I hereby certify that this plan represents a survey made by me, that the monuments shown hereon exist as located and that all dimensional and geodetic details are correct.

Dated _____ Registered Surveyor _____

I hereby certify that _____ is the registered owner of the land herein subdivided or developed and that I do hereby adopt this plan.

(Title) _____

Submitted herewith are a complete set of construction improvement plans marked sheet _____ through _____ which form a part of this application, being dated _____ and last revised _____

Owner _____

Approved by the Board of Commissioners of West Norristown Township this ____ day of _____, 20____.

President _____

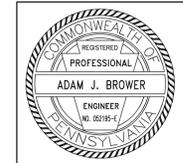
Secretary _____

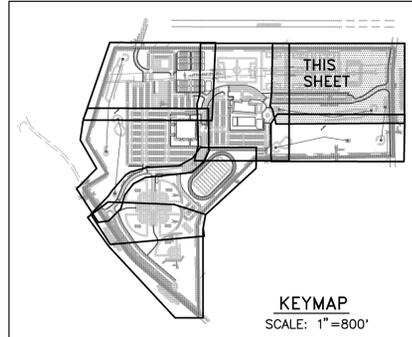
**PRELIMINARY PLAN
 TITLE PLAN**

LAND DEVELOPMENT PLAN
 FOR
WESTOVER SPORTING COMPLEX
 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 Dowlin Forge Road
 Exton, Pennsylvania 19341
 Phone (610) 903-0060
 Fax (610) 903-0080

Project- 2769
 Date- 12-23-14
 Scale- 1" = 100'
 Drawn- SLM
 Checked- A.J.B.
 Sheet- 1 OF 63

Plotted: 2/25/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.prc Ver.- 000





NOTE:
SIDEWALK EXTENSION TO
BE PROVIDED TO BRANDON
ROAD INSIDE RIGHT OF WAY

R-1 ZONING

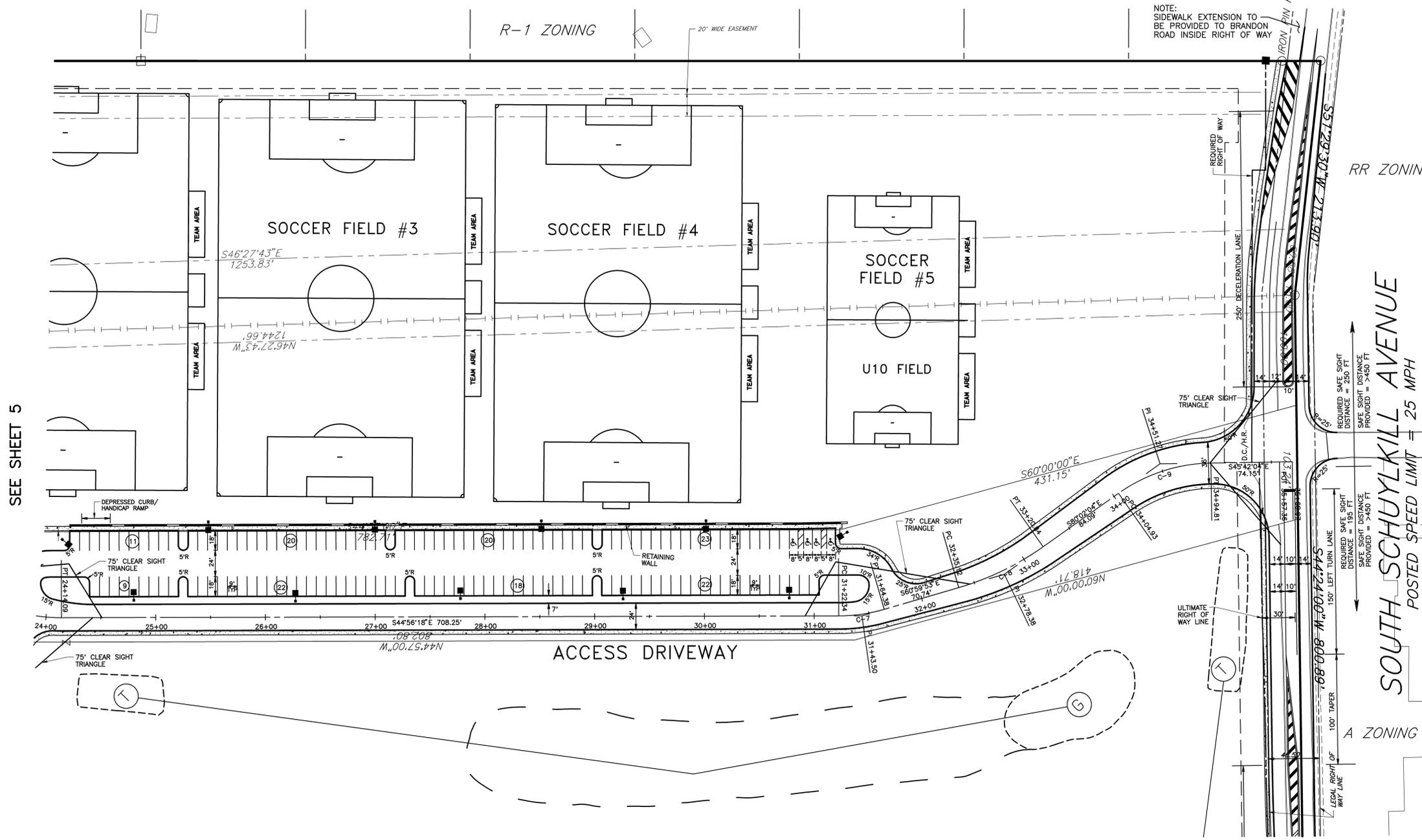
RR ZONING

SOUTH SCHUYLKILL AVENUE
POSTED SPEED LIMIT = 25 MPH

LEGEND

- PROPOSED CURB
- PROPOSED PAVED TRAIL
- PROPOSED SIDEWALK
- RETAINING WALL
- H.R. HANDICAP RAMP
- PROPERTY BOUNDARY
- PROPOSED PARKING SETBACK
- GAS PIPELINE
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED LIGHTS

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SEE SHEET 5

SEE SHEET 4

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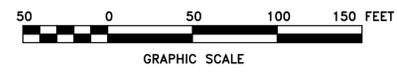
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

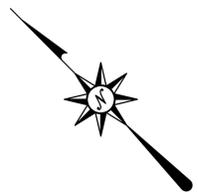
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Eaton, Pennsylvania 19341
Phone (610) 903-0060
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EBW

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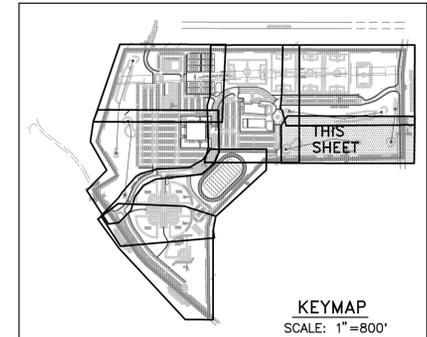
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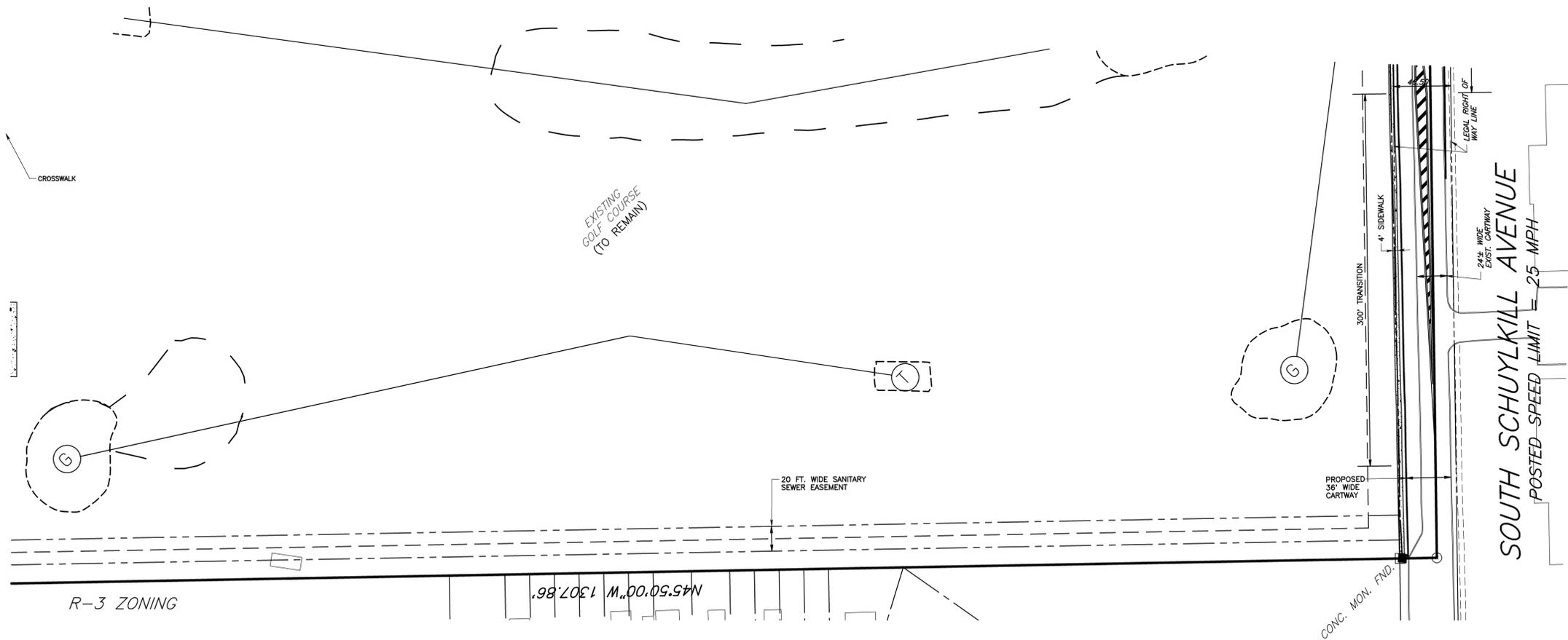
LEGEND

	PROPOSED CURB
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	PROPOSED SIDEWALK
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	HANDICAP RAMP
	PROPERTY BOUNDARY
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	GAS PIPELINE
	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED LIGHTS

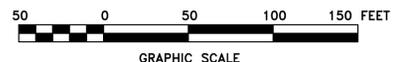


SEE SHEET 3

SEE SHEET 5



CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C-1	32°32'19"	212.00'	120.40'	N84°21'51"E	118.78'
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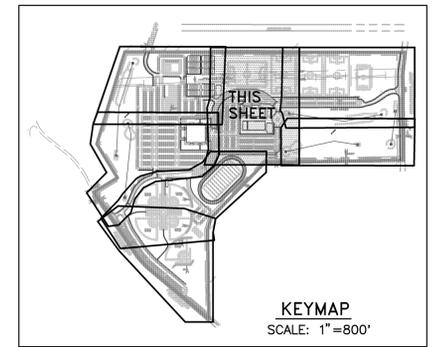
R-1 ZONING

S44°57'00"E 2637.06'



LEGEND

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SEE SHEET 6

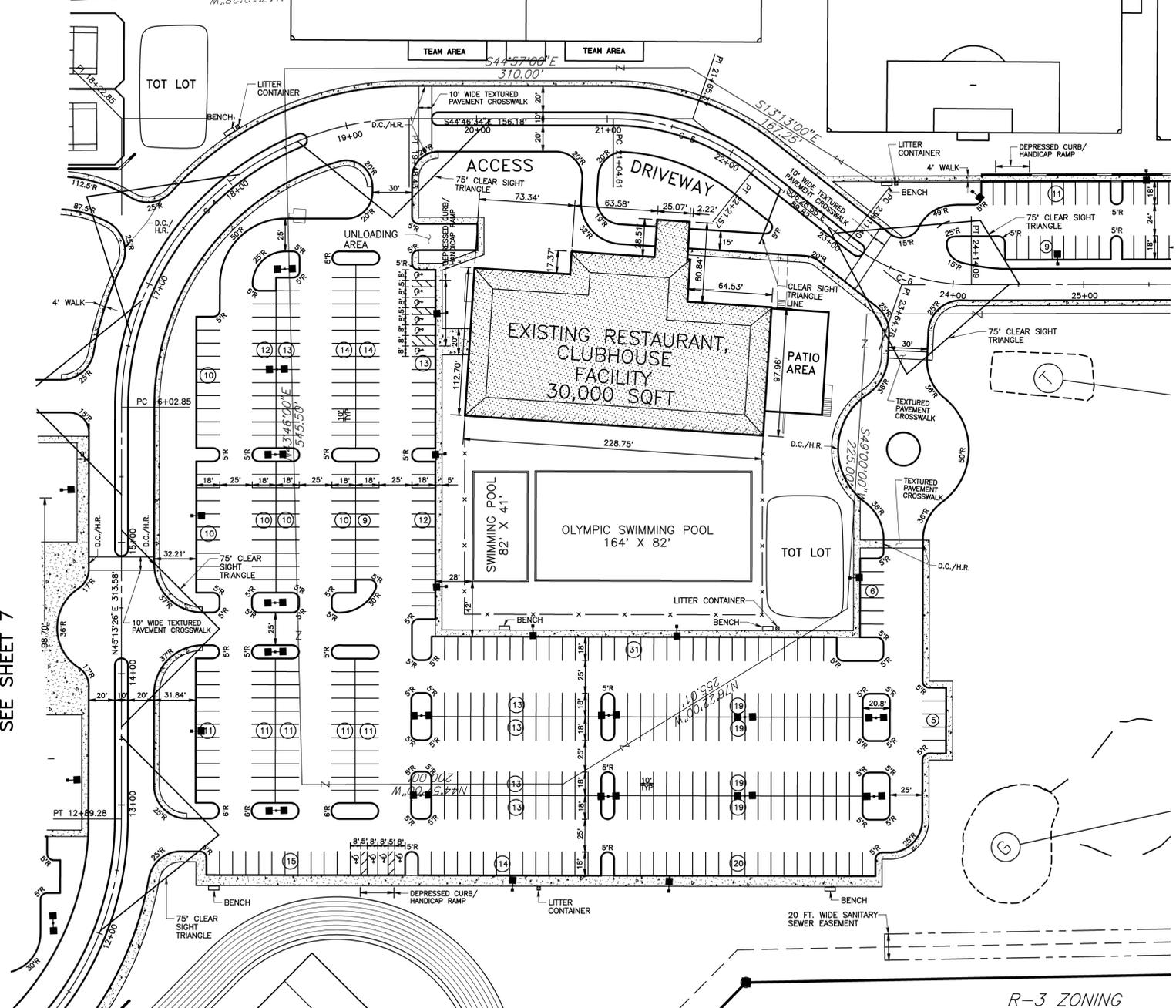
(10) TENNIS COURTS

CHAMPIONSHIP FIELD #1

SOCCER FIELD #2

SEE SHEET 3

WILLIAMS CO. PIPE LINE RIGHT OF WAY
FORMERLY TRANSCONTINENTAL GAS PIPE LINE CORP.



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SEE SHEET 4

SEE SHEET 8

R-3 ZONING



PRELIMINARY PLAN TITLE PLAN

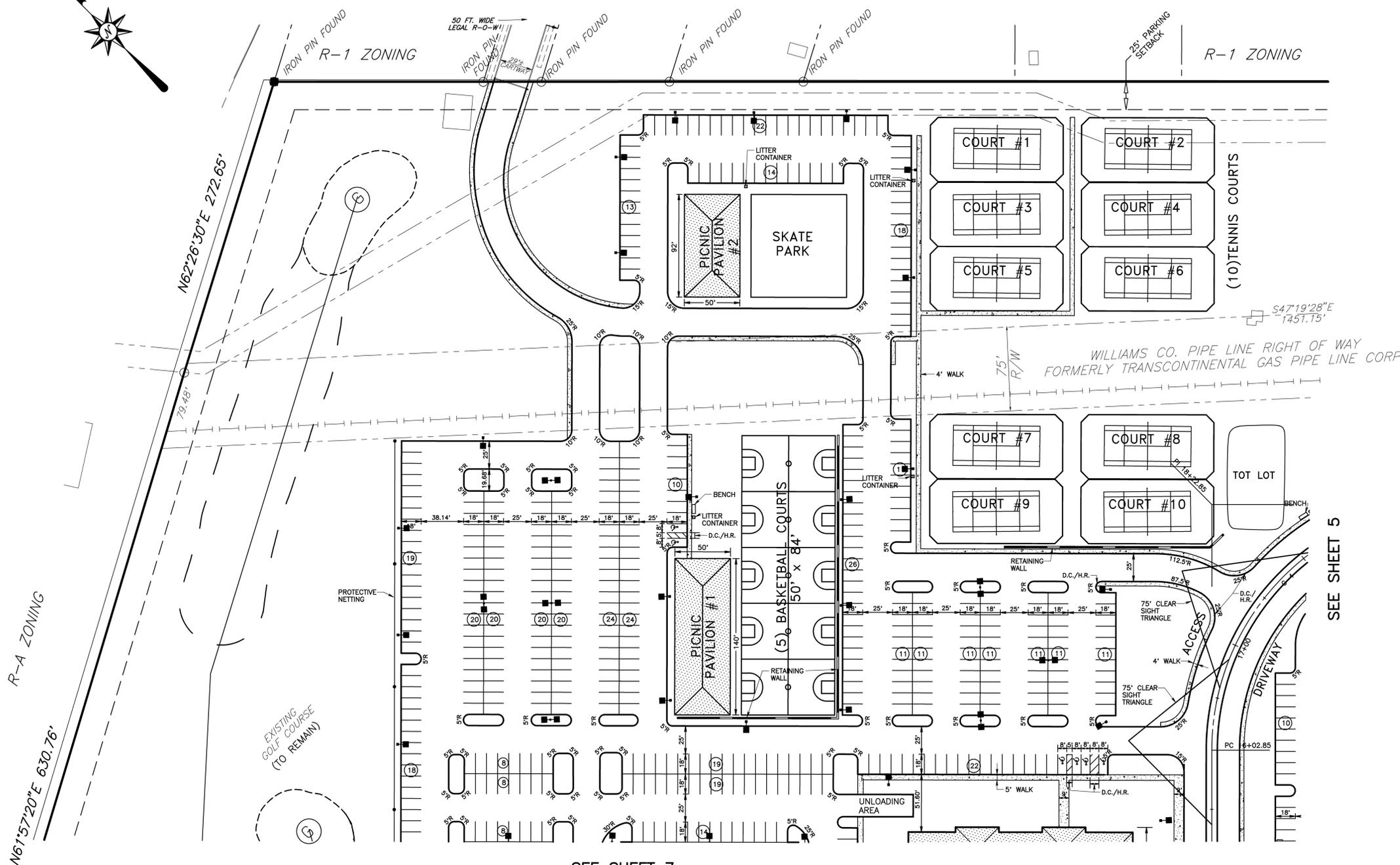
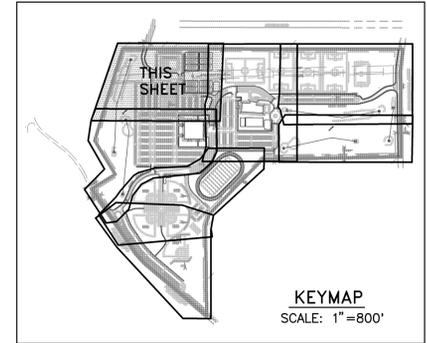
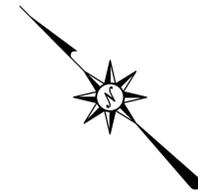
LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

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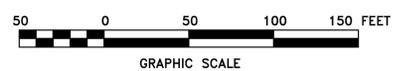
LEGEND

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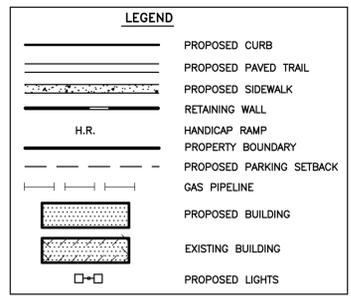
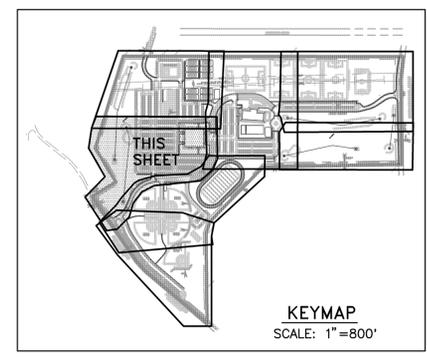
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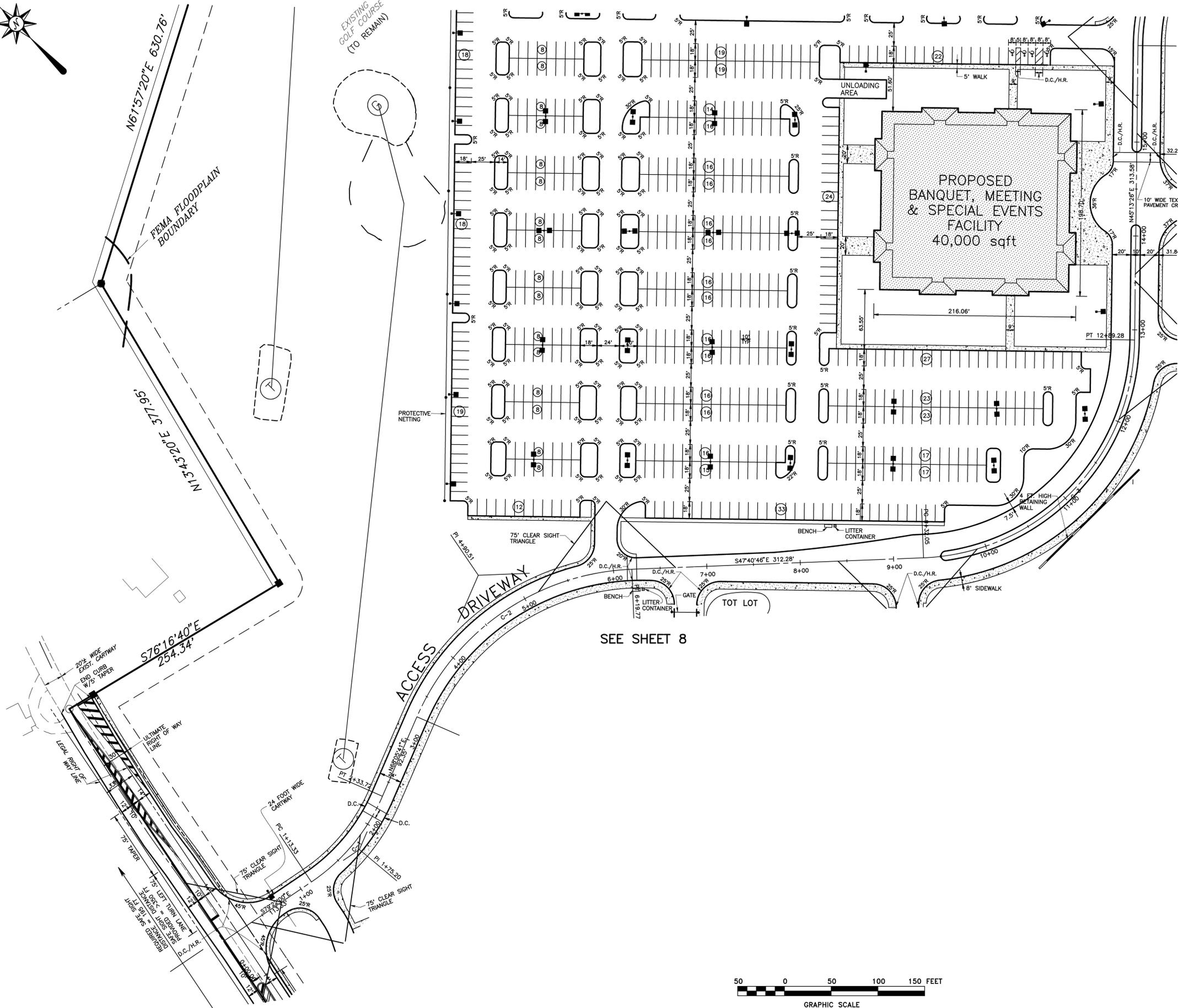
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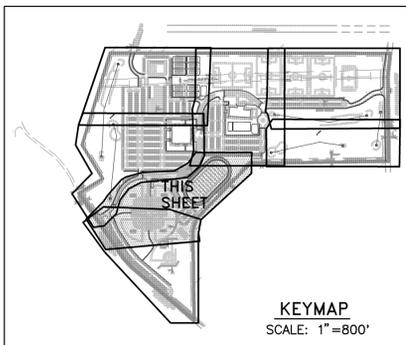
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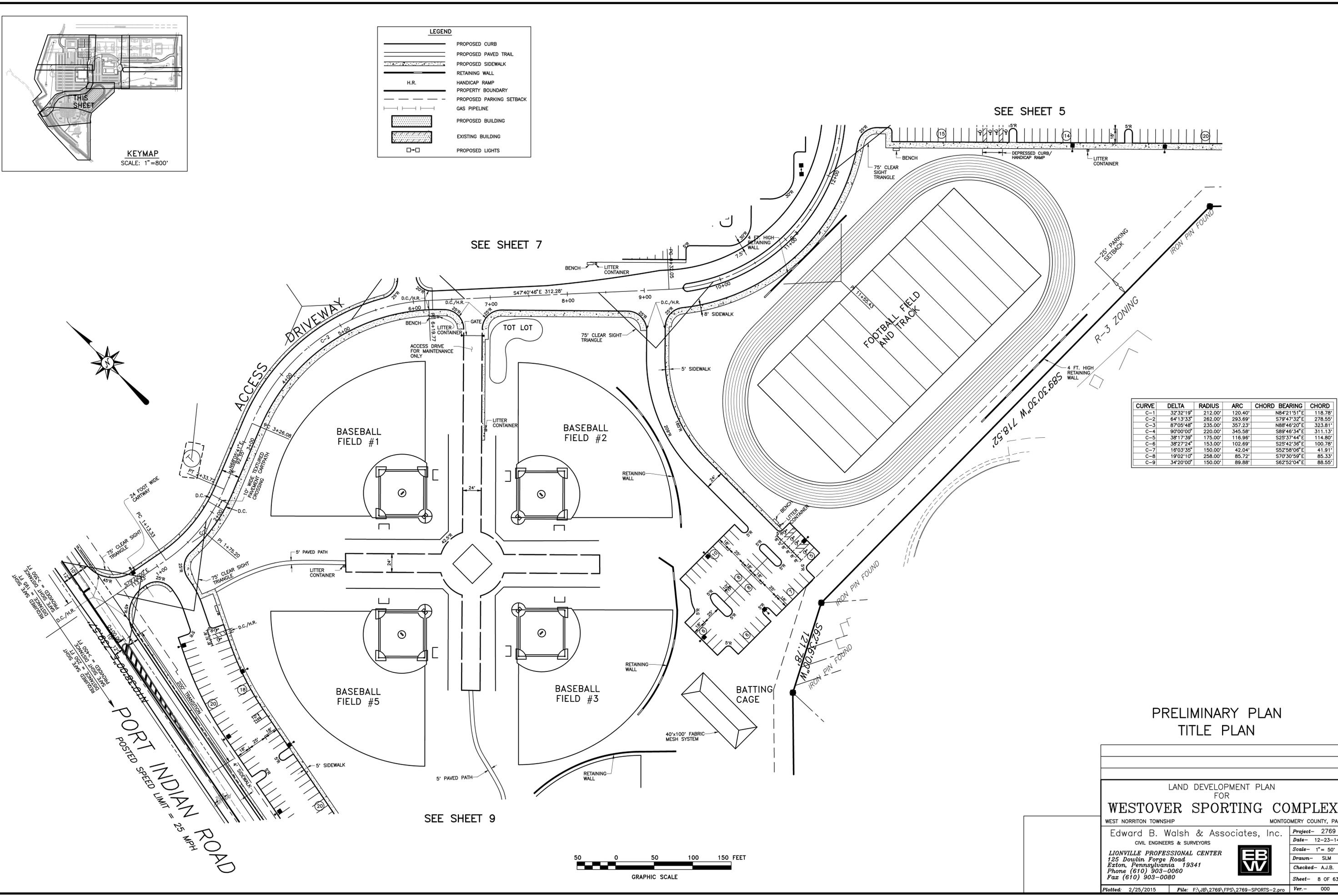
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WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

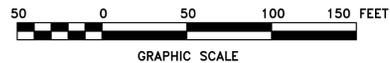
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

EBW

Project- 2769
Date- 12-23-14
Scale- 1" = 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 8 OF 63

Plotted: 2/25/2015 File: F:\J\2769\FPS\2769-SPORTS-2.pro Ver.- 000



SEE SHEET 9

PORT INDIAN ROAD
POSTED SPEED LIMIT = 25 MPH



NO.	DATE	REVISION

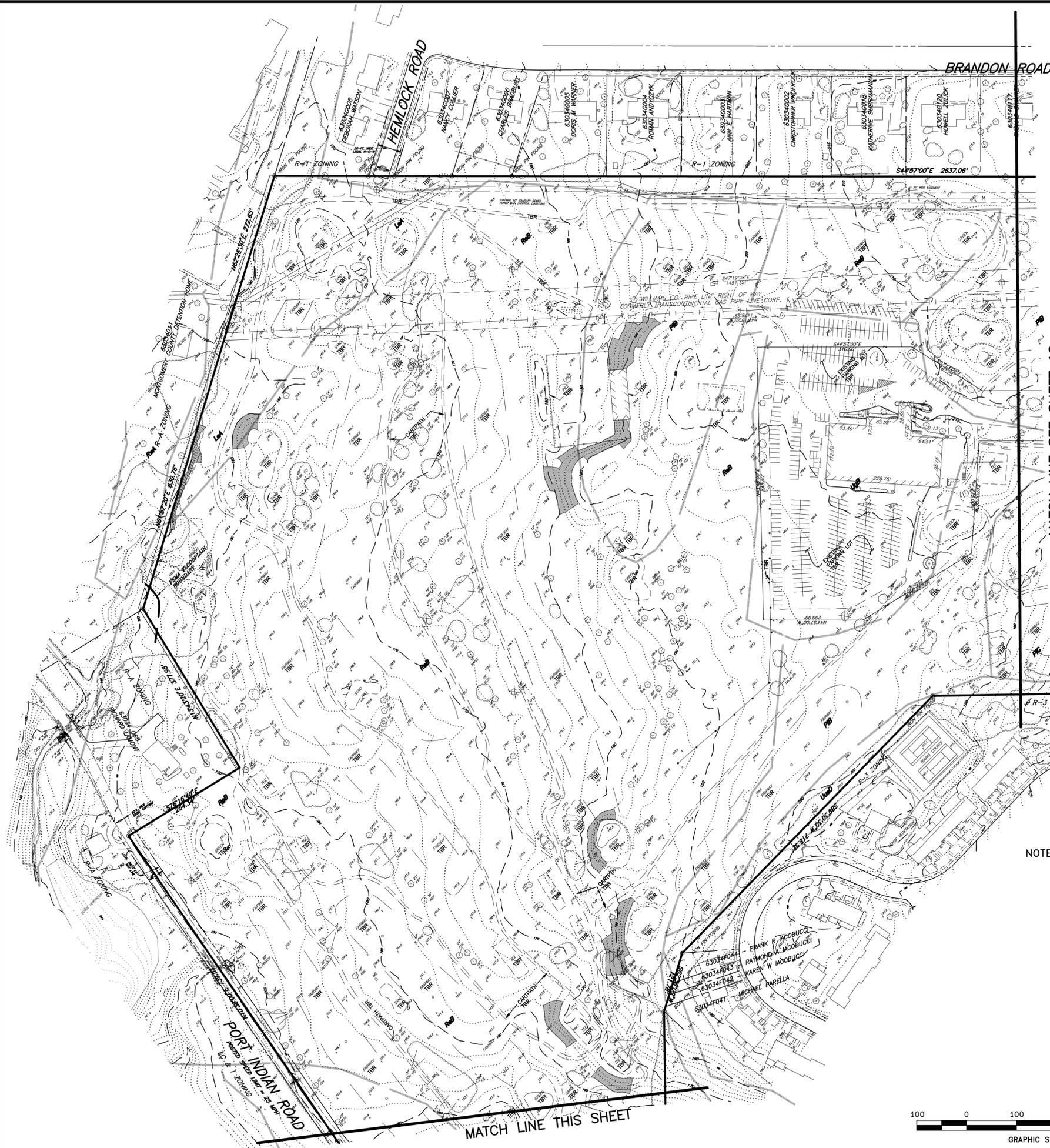
**PRELIMINARY
 EXISTING FEATURES AERIAL PLAN**
 PLAN OF PROPERTY
 FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA

Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 Lionville Professional Center
 125 Down In Forge Road
 Elton, Pennsylvania 19341
 Phone: (610) 903-0060
 Fax: (610) 903-0080

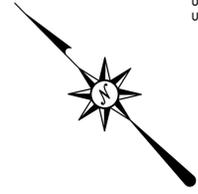


PROJECT #2769
 DATE: 3/22/2012
 SCALE: 1"=150'
 DRAWN: ASH
 CHECKED: AIB
 SHEET: 10 OF 63



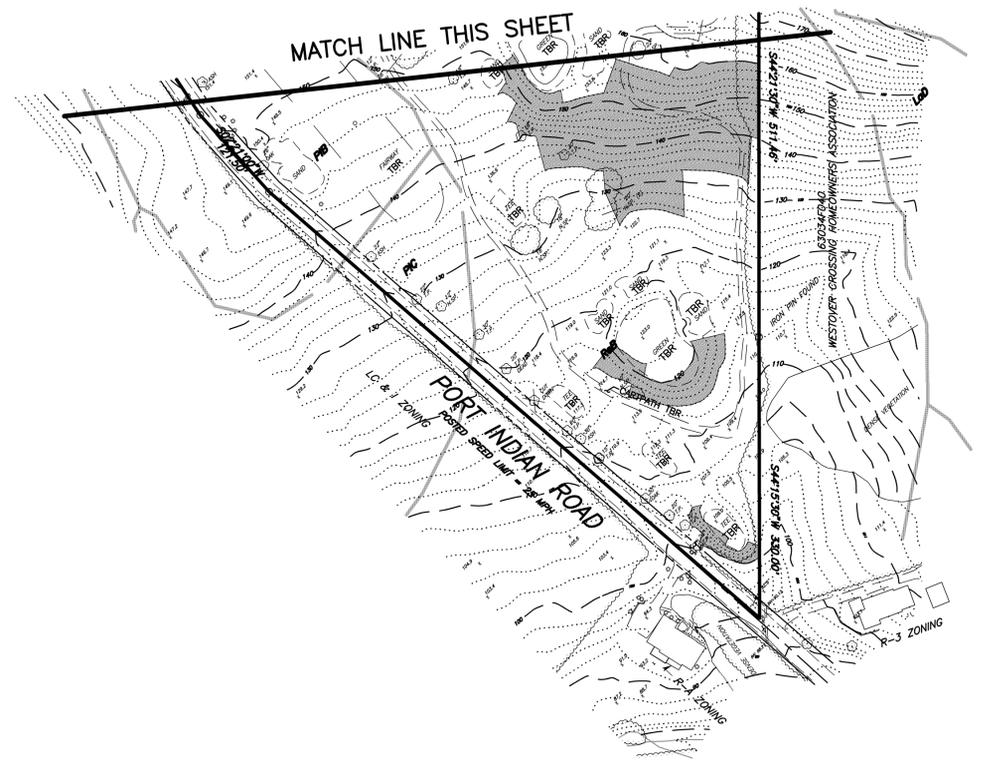
SOILS CLASSIFICATION

La4 - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 La8 - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 Re4 - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 Re8 - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 UaB - URBAN LAND, 0 TO 8 PERCENT SLOPES
 Urb - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
 UsaD - URBAN LAND-UDORTHENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES

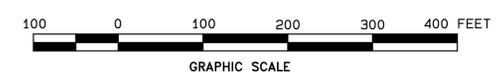


LEGEND	
---	EXISTING INDEX CONTOUR
----	EXISTING INTERIOR CONTOUR
x 400.00	EXISTING SPOT ELEVATION
---	EXISTING INLET
---	EXISTING STORM SEWER PIPE
o	EXISTING MANHOLE
---	EXISTING EDGE ROAD/PAVING
---	EXISTING CURB
---	EXISTING SIGN
---	EXISTING UTILITY POLE
x x	EXISTING FENCE
o	EXISTING TREES
---	EXISTING BUILDING
---	EXISTING PIPELINE
---	EXISTING STREAM/EDGE OF WATER
TBR	TO BE REMOVED
---	STEEP SLOPES >15%

MATCH LINE SEE SHEET 12



NOTE: ALL CARTPATHS ARE TO BE REMOVED OUTSIDE THE AREA OF THE GOLF COURSE THAT IS TO REMAIN.



**PRELIMINARY PLAN
EXISTING FEATURES PLAN**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- 1"= 100'
Drawn- SLM
Checked- A.J.B.
Sheet- 11 OF 63
Ver- 000

Plotted: 2/20/2015 File: F:\JIB\2769\FPS\2769-SPORTS-2.pro





BRANDON ROAD



- JARED B EVERY - 630340076
- WALTER N BAGAN - 630340071
- FAMILY A/L LP - 630340070
- SUZANNE E ROTZIM - 630340069
- SHIRLEY N SULLIVAN TR - 630340068
- JENNIFER BOWLES - 630340067
- JENNIFER GOLDBLOOM - 630340066
- THOMAS D MCKINNEY - 630340065
- DAVID N KWIREL - 630340064
- RAYMOND IACOBucci - 630340063
- RUTH A NOVIK - 630340062
- FRANCIS R IACOBucci - 630340061
- RAYMOND IACOBucci - 630340060
- JOHN OUGLEY JR - 630340059

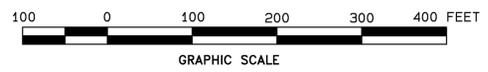
NOTE: ALL CARPATHS ARE TO BE REMOVED OUTSIDE THE AREA OF THE GOLF COURSE THAT IS TO REMAIN.

- SOILS CLASSIFICATION**
- LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 - LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 - PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 - PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 - ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
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 - UgB - URBAN LAND, 0 TO 8 PERCENT SLOPES
 - Urb - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
 - UusD - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES

LEGEND

--- 430 ---	EXISTING INDEX CONTOUR
.....	EXISTING INTERIOR CONTOUR
x 400.00	EXISTING SPOT ELEVATION
□	EXISTING INLET
====	EXISTING STORM SEWER PIPE
○	EXISTING MANHOLE
---	EXISTING EDGE ROAD/PAVING
---	EXISTING CURB
○	EXISTING SIGN
•	EXISTING UTILITY POLE
-x-x-	EXISTING FENCE
☁	EXISTING TREES
▭	EXISTING BUILDING
---	EXISTING PIPELINE
---	EXISTING STREAM/EDGE OF WATER
TBR	TO BE REMOVED
▨	STEEP SLOPES >15%

PRELIMINARY PLAN
EXISTING FEATURES PLAN



LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

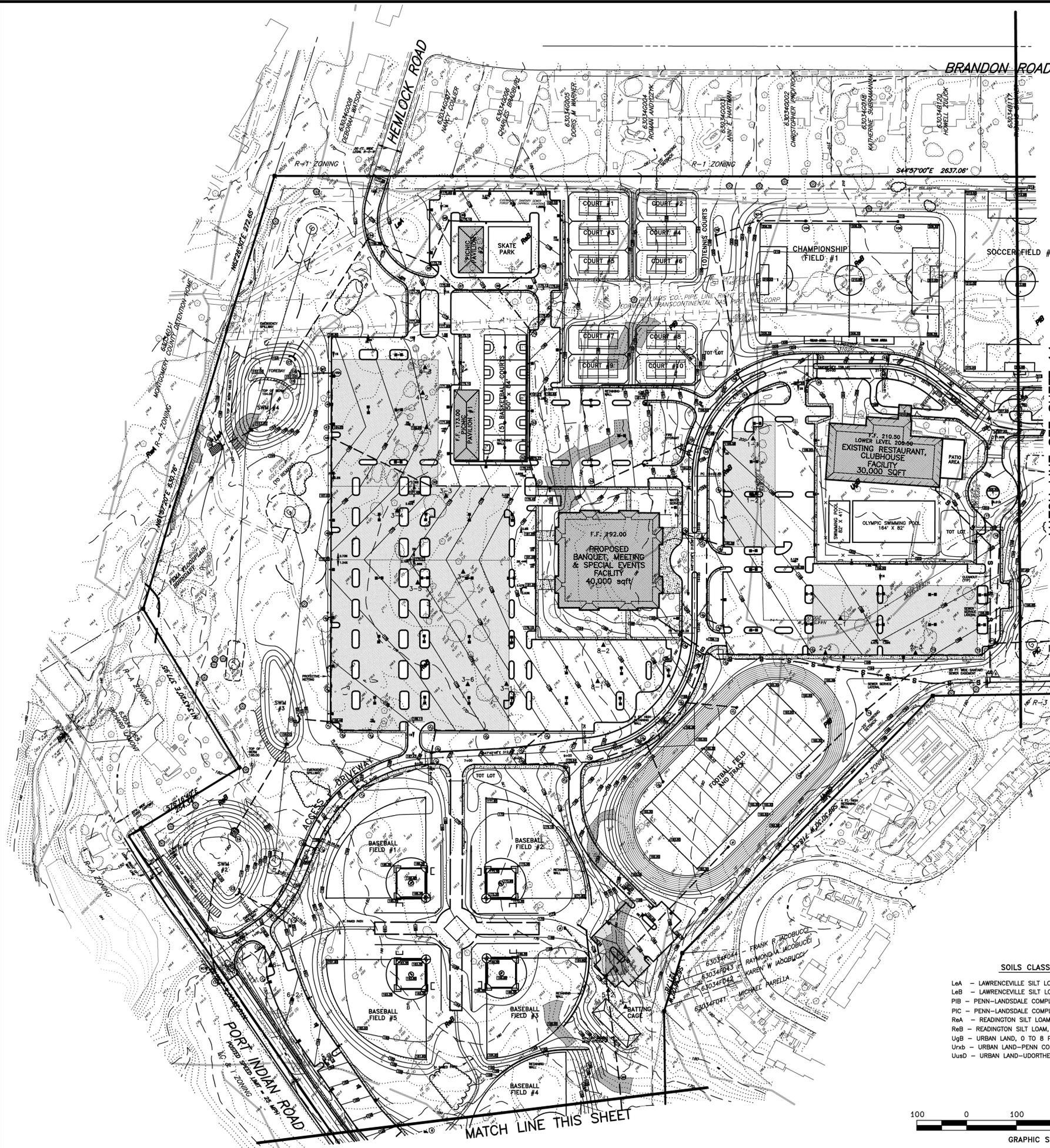
Edward B. Walsh & Associates, Inc.
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Date- 12-23-14
Scale- 1" = 100'
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Checked- A.J.B.
Sheet- 12 OF 63
Ver.- 000

Plotted: 2/20/2015 File: F:\A\2769\FPS\2769-SPORTS-2.pr



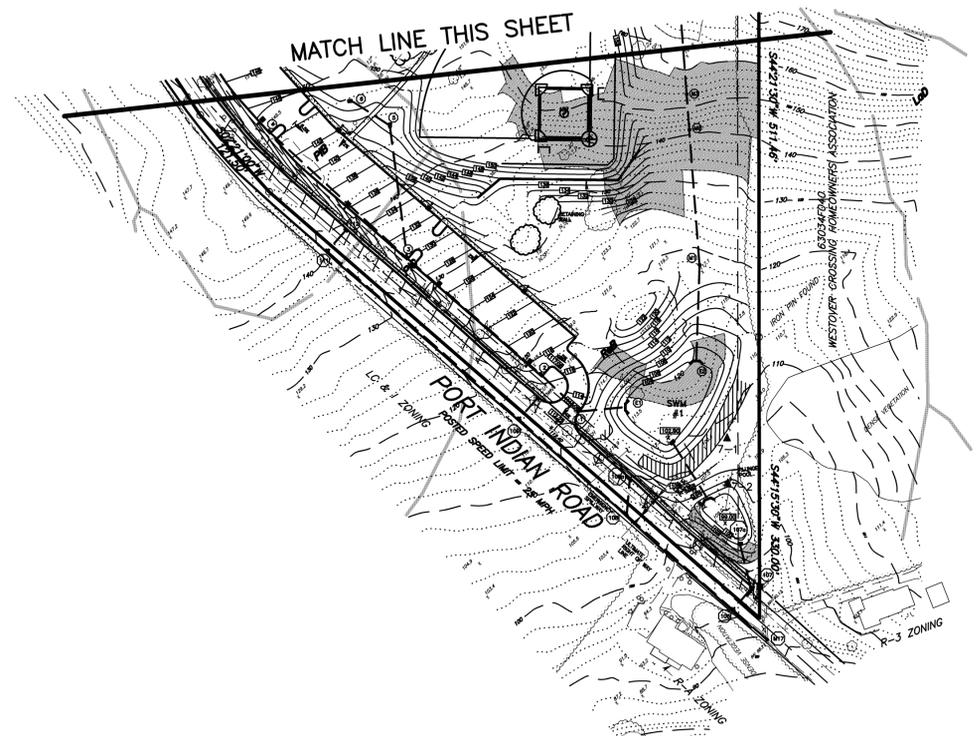
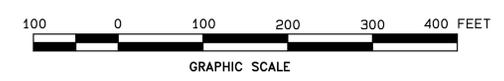


LEGEND			
--- 4.50 ---	EXISTING INDEX CONTOUR	=====	EXISTING CURB
-----	EXISTING INTERIOR CONTOUR	=====	PROPOSED CURB
-----	PROPOSED CONTOUR	□	LIGHT POLE & FIXTURE
-----	EXISTING INLET	□	PROPOSED SPOT ELEVATION
-----	PROPOSED INLET	□	EXISTING SIGN
=====	EXISTING STORM SEWER PIPE	□	PROPOSED SIGN
=====	PROPOSED STORM SEWER PIPE	○	WATER METER
=====	EXISTING STORM MANHOLE	○	WATER VALVE
=====	PROPOSED STORM MANHOLE	○	EXISTING D-W ENDWALL
=====	EXISTING SANITARY MANHOLE	○	PROPOSED D-W ENDWALL
=====	PROPOSED SANITARY MANHOLE	○	EDGE OF WOODLANDS
=====	EXISTING SANITARY SEWER PIPE	=====	RETAINING WALL
=====	PROPOSED SANITARY SEWER PIPE	=====	PROPOSED POROUS PAVEMENT
=====	EXISTING ELECTRIC LINE	▲ 1-1	INFILTRATION TESTING LOCATION
=====	PROPOSED ELECTRIC LINE	○	TREE TO BE SAVED
=====	EXISTING WATER LINE		
=====	PROPOSED WATER LINE		
=====	EXISTING GAS PIPELINE		
=====	PROPOSED GAS PIPELINE		
=====	SOILS LINE		
=====	STEEP SLOPES >15%		

NOTE: ALL AREAS OF PROPOSED DISTURBANCE WHERE SLOPE IS BETWEEN 10% TO 25% MUST BE STABILIZED WITH THE INSTALLATION OF SOD UPON COMPLETION OF SITE GRADING.

SOILS CLASSIFICATION

- LeA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LeB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
- ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
- ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
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- UrbB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.
- UubD - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES.



**PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN**

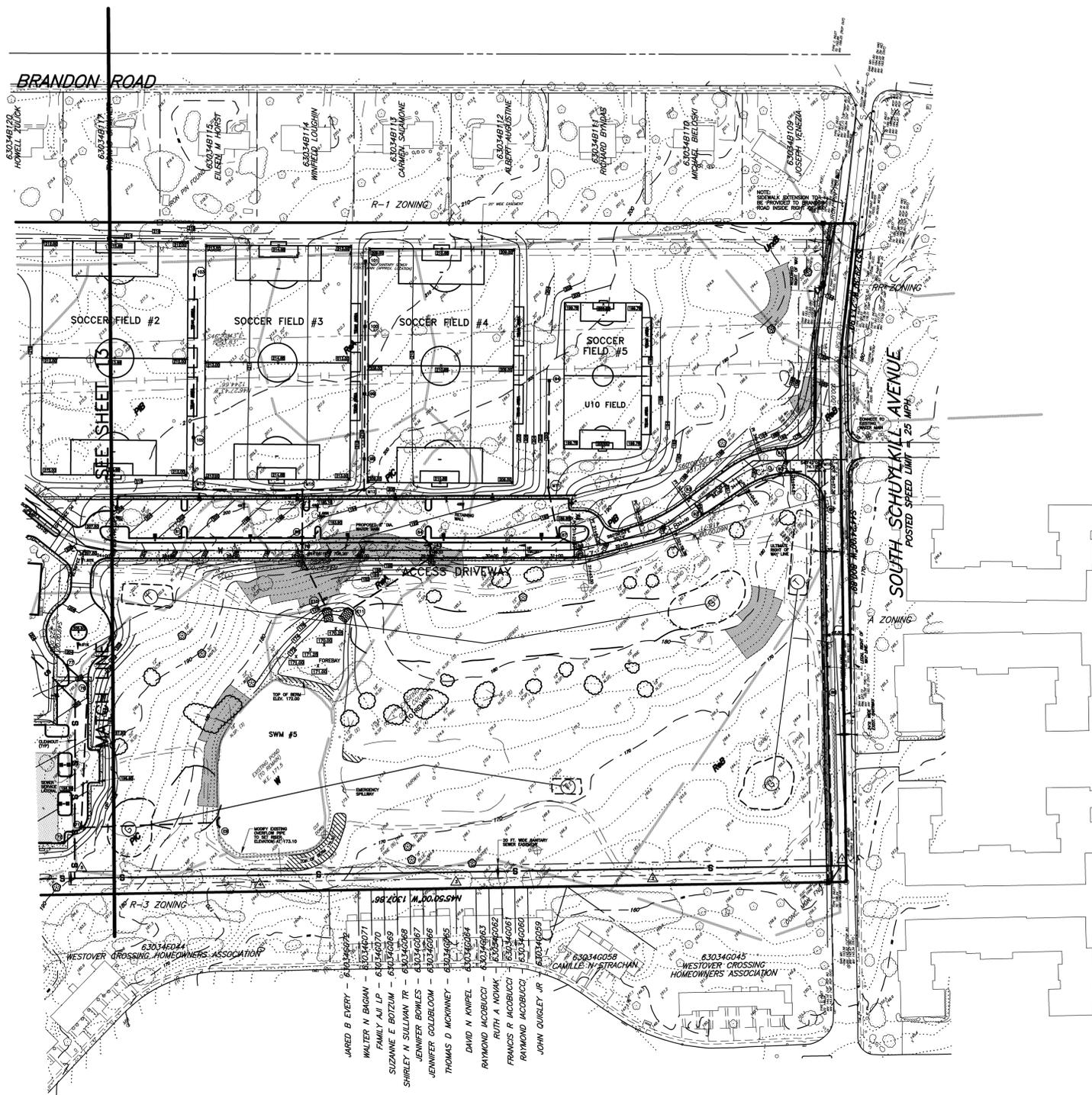
**LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX**

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080



Project- 2769 Date- 12-23-14 Scale- 1"= 100' Drawn- SLM Checked- A.J.B. Sheet- 13 OF 63 Plotted: 2/20/2015 File: F:\JIB\2769\FPS\2769-SPORTS-2.prn Ver.- 000

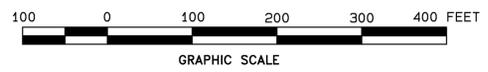


LEGEND	
---	EXISTING INDEX CONTOUR
---	EXISTING INTERIOR CONTOUR
---	PROPOSED CONTOUR
---	EXISTING INLET
□	PROPOSED INLET
---	EXISTING STORM SEWER PIPE
---	PROPOSED STORM SEWER PIPE
○	EXISTING STORM MANHOLE
●	PROPOSED STORM MANHOLE
■	PROPOSED MONUMENT
○	EXISTING SANITARY MANHOLE
●	PROPOSED SANITARY MANHOLE
S	EXISTING SANITARY SEWER PIPE
S	PROPOSED SANITARY SEWER PIPE
E	EXISTING ELECTRIC LINE
E	PROPOSED ELECTRIC LINE
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
---	EXISTING GAS PIPELINE
---	PROPOSED GAS PIPELINE
---	SOILS LINE
---	EXISTING CURB
---	PROPOSED CURB
□	LIGHT POLE & FIXTURE
□	PROPOSED SPOT ELEVATION
○	EXISTING SIGN
○	PROPOSED SIGN
○	WATER METER
○	WATER VALVE
---	EXISTING D-W ENDWALL
---	PROPOSED D-W ENDWALL
---	EDGE OF WOODLANDS
---	STEEP SLOPES >15%
---	RETAINING WALL
---	PROPOSED POROUS PAVEMENT
▲ 1-1	INFILTRATION TESTING LOCATION
○	TREE TO BE SAVED

NOTE: ALL AREAS OF PROPOSED DISTURBANCE WHERE SLOPE IS BETWEEN 10% TO 25% MUST BE STABILIZED WITH THE INSTALLATION OF SOD UPON COMPLETION OF SITE GRADING.

SOILS CLASSIFICATION

LeA	- LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
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PIC	- PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
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Urb	- URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
UusD	- URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

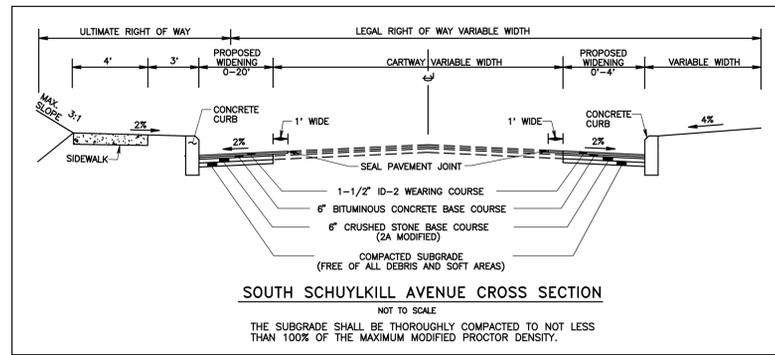
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

125 DOWLIN FORGE ROAD
EATON, PENNSYLVANIA 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- 1" = 100'
Drawn- SLM
Checked- A.J.B.
Sheet- 14 OF 63
Ver- 000

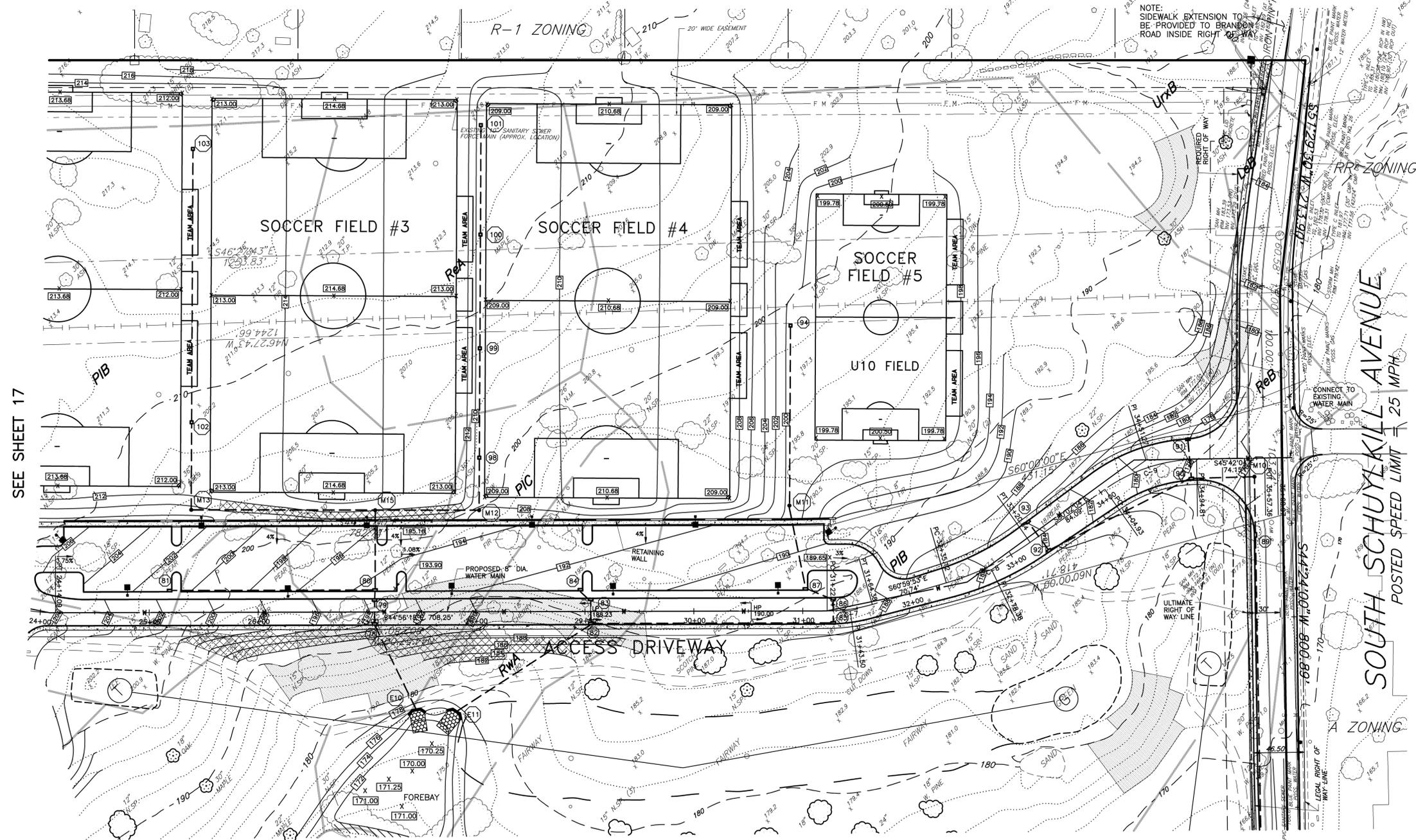
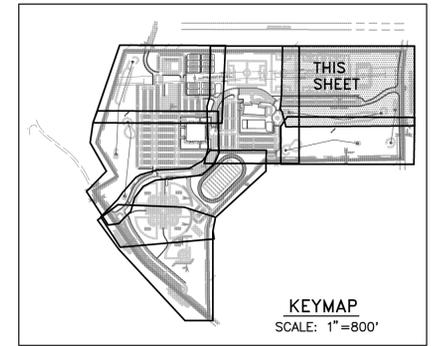
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SOILS CLASSIFICATION

LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 PiB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 P1C - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 RmA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 RmB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 U9B - URBAN LAND, 0 TO 8 PERCENT SLOPES.
 UrxB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.
 UudB - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



LEGEND

	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	EXISTING INLET
	PROPOSED INLET
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER PIPE
	EXISTING ELECTRIC LINE
	PROPOSED ELECTRIC LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	GAS PIPELINE
	SOILS LINE
	EXISTING CURB
	PROPOSED CURB
	LIGHT POLE & FIXTURE
	PROPOSED SPOT ELEVATION
	EXISTING SIGN
	PROPOSED SIGN
	WATER METER
	WATER VALVE
	EXISTING D-W ENDWALL
	PROPOSED D-W ENDWALL
	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	RIP RAP STABILIZATION
	TREE TO BE SAVED

**PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

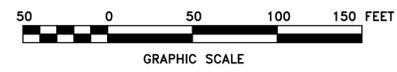
Edward B. Walsh & Associates, Inc. **Project- 2769**
CIVIL ENGINEERS & SURVEYORS **Date- 12-23-14**

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

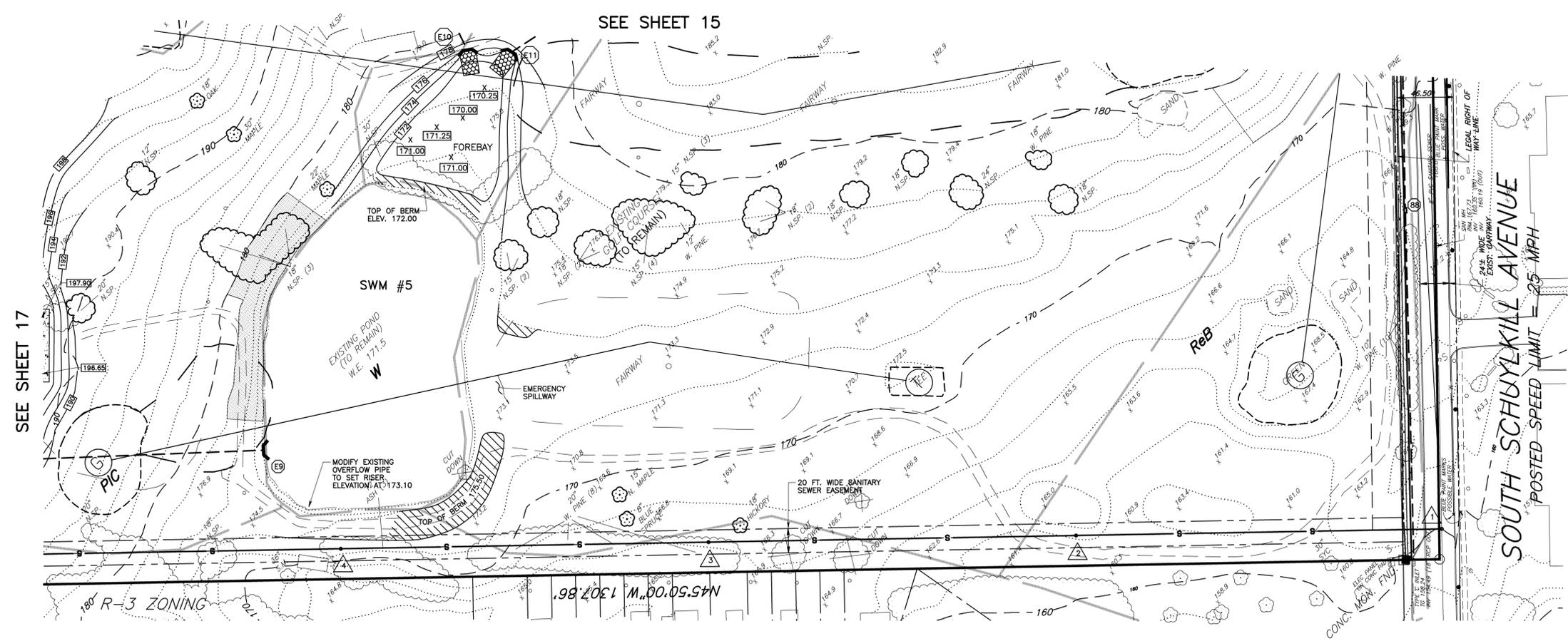
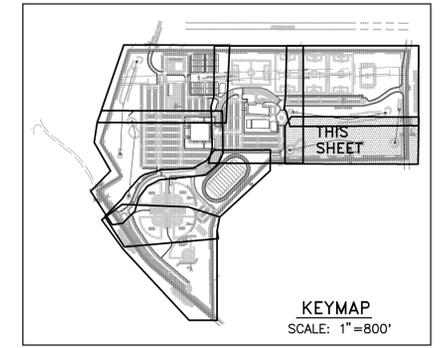
EBW

Scale- 1"= 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 15 OF 63

Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.prc Ver- 000



NOTE:
ALL AREAS OF THE SITE SHALL BE STABILIZED BY SEEDING OR PLANTING ON SLOPES OF LESS THAN 10% AND SHALL BE STABILIZED BY SODDING ON SLOPES 10% OR MORE AND PLANTED IN GROUND COVER ON SLOPES OF 20% PROVIDED THAT RIP-RAP SHALL BE UTILIZED FOR BANKS EXCEEDING 25%.



LEGEND

---	4.30	EXISTING INDEX CONTOUR
---		EXISTING INTERIOR CONTOUR
---	133	PROPOSED CONTOUR
---	023	EXISTING INLET
---		PROPOSED INLET
---		EXISTING STORM SEWER PIPE
---		PROPOSED STORM SEWER PIPE
---		EXISTING STORM MANHOLE
---		PROPOSED STORM MANHOLE
---		PROPOSED MONUMENT
---		EXISTING SANITARY MANHOLE
---		PROPOSED SANITARY MANHOLE
---	S	EXISTING SANITARY SEWER PIPE
---	S	PROPOSED SANITARY SEWER PIPE
---	E	EXISTING ELECTRIC LINE
---	E	PROPOSED ELECTRIC LINE
---	W	EXISTING WATER LINE
---	W	PROPOSED WATER LINE
---		GAS PIPELINE
---		SOILS LINE
---		EXISTING CURB
---		PROPOSED CURB
---	94.68	PROPOSED SPOT ELEVATION
---		EXISTING SIGN
---		PROPOSED SIGN
---		WATER METER
---		WATER VALVE
---		EXISTING D-W ENDWALL
---		PROPOSED D-W ENDWALL
---		EDGE OF WOODLANDS
---		STEEP SLOPES >15%
---		RETAINING WALL
---		PROPOSED POROUS PAVEMENT
---		RIP RAP STABILIZATION
---		TREE TO BE SAVED

SEE SHEET 17

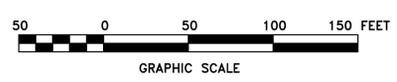
SEE SHEET 15

SOUTH SCHUYLKILL AVENUE
POSTED SPEED LIMIT 25 MPH

NOTE:
ALL AREAS OF THE SITE SHALL BE STABILIZED BY SEEDING OR PLANTING ON SLOPES OF LESS THAN 10% AND SHALL BE STABILIZED BY SODDING ON SLOPES 10% OR MORE AND PLANTED IN GROUND COVER ON SLOPES OF 20%, PROVIDED THAT RIP-RAP SHALL BE UTILIZED FOR BANKS EXCEEDING 25%.

**PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN**

- SOILS CLASSIFICATION**
- LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 - LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 - PIB - PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 - PIC - PENN-LANDSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 - ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
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 - UuSD - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



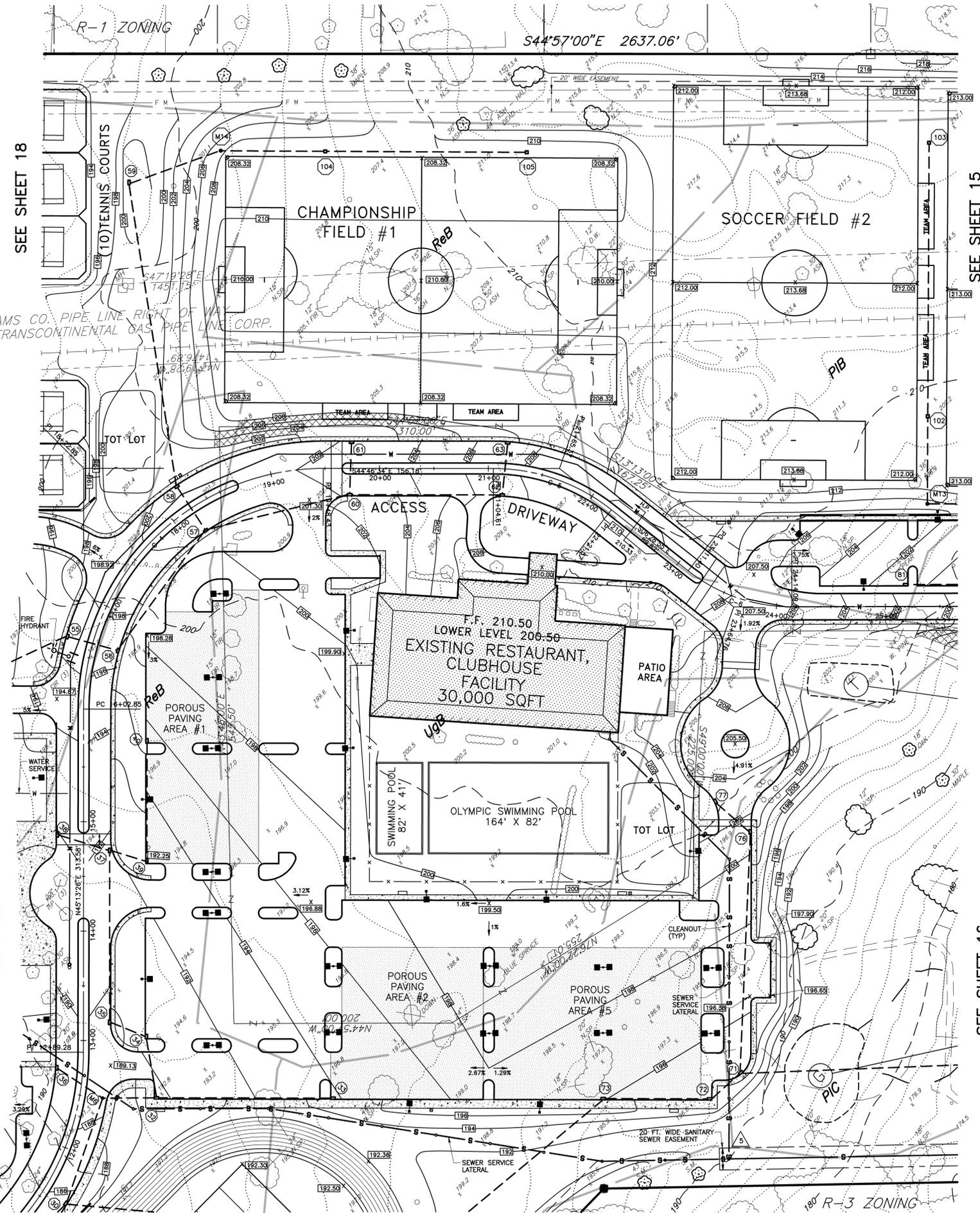
LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
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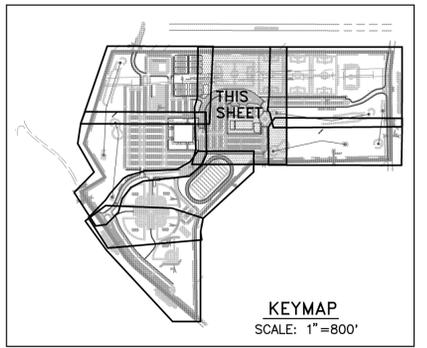
Project- 2769
Date- 12-23-14
Scale- 1" = 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 16 OF 63
Ver.- 000

Plotted: 2/20/2015 File: F:\B\2769\FPS\2769-SPORTS-2.pro



SOILS CLASSIFICATION

- LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIB - PENN-LANSDALE COMPLEX, MODERATELY ERODED.
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- UrbB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
- UusD - URBAN LAND-UDORTHERTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



LEGEND

- 430 --- EXISTING INDEX CONTOUR
- 430 --- EXISTING INTERIOR CONTOUR
- 430 --- PROPOSED CONTOUR
- 430 --- EXISTING INLET
- 430 --- PROPOSED INLET
- 430 --- EXISTING STORM SEWER PIPE
- 430 --- PROPOSED STORM SEWER PIPE
- 430 --- EXISTING STORM MANHOLE
- 430 --- PROPOSED STORM MANHOLE
- 430 --- EXISTING SANITARY MANHOLE
- 430 --- PROPOSED SANITARY MANHOLE
- 430 --- EXISTING SANITARY SEWER PIPE
- 430 --- PROPOSED SANITARY SEWER PIPE
- 430 --- EXISTING ELECTRIC LINE
- 430 --- PROPOSED ELECTRIC LINE
- 430 --- EXISTING WATER LINE
- 430 --- PROPOSED WATER LINE
- 430 --- GAS PIPELINE
- 430 --- SOILS LINE
- 430 --- EXISTING CURB
- 430 --- PROPOSED CURB
- 430 --- LIGHT POLE & FIXTURE
- 430 --- PROPOSED SPOT ELEVATION
- 430 --- EXISTING SIGN
- 430 --- PROPOSED SIGN
- 430 --- WATER METER
- 430 --- WATER VALVE
- 430 --- EXISTING D-W ENDWALL
- 430 --- PROPOSED D-W ENDWALL
- 430 --- EDGE OF WOODLANDS
- 430 --- STEEP SLOPES >15%
- 430 --- RETAINING WALL
- 430 --- PROPOSED POROUS PAVEMENT
- 430 --- RIP RAP STABILIZATION
- 430 --- TREE TO BE SAVED

NOTE:
ALL AREAS OF THE SITE SHALL BE STABILIZED BY SEEDING OR PLANTING ON SLOPES OF LESS THAN 10% AND SHALL BE STABILIZED BY SODDING ON SLOPES 10% OR MORE AND PLANTED IN GROUND COVER ON SLOPES OF 20%. PROVIDED THAT RIP-RAP SHALL BE UTILIZED FOR BANKS EXCEEDING 25%.

**PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc. **Project-** 2769
CIVIL ENGINEERS & SURVEYORS **Date-** 12-23-14

LIONVILLE PROFESSIONAL CENTER **Scale-** 1"= 50'
125 Dowlin Forge Road **Drawn-** SLM
Eaton, Pennsylvania 19341 **Checked-** A.J.B.
Phone (610) 903-0060 **Sheet-** 17 OF 63
Fax (610) 903-0080 **Ver-** 000

Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.pro



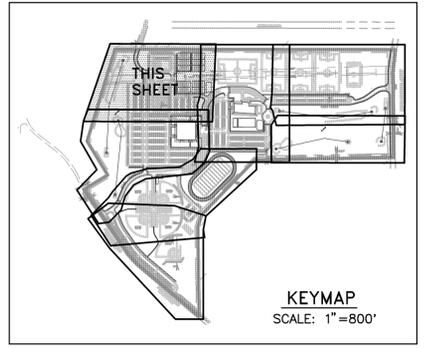
SEE SHEET 18

SEE SHEET 15

SEE SHEET 19

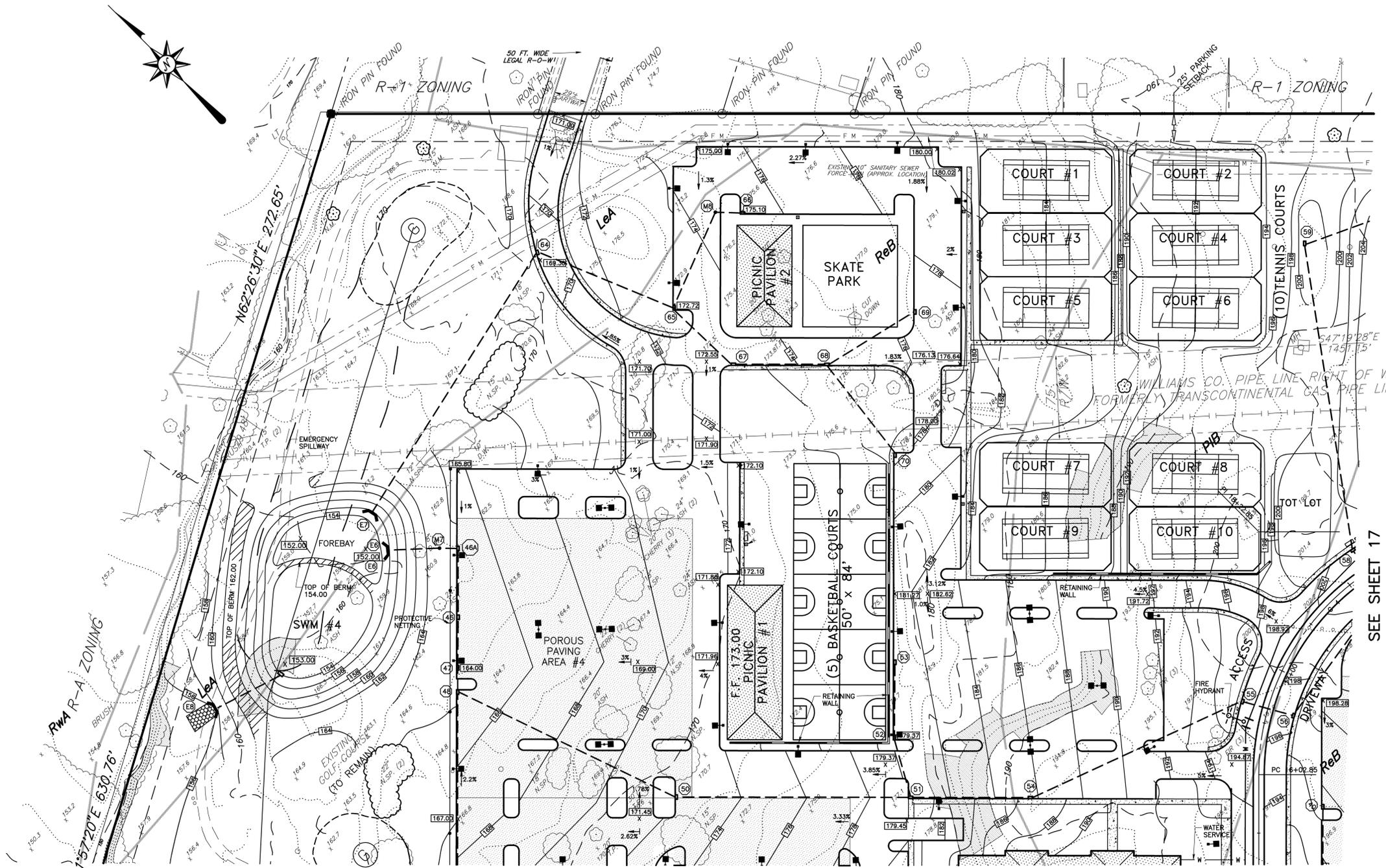
SEE SHEET 16

SEE SHEET 20



LEGEND

---	430	EXISTING INDEX CONTOUR
---	430	EXISTING INTERIOR CONTOUR
---	---	PROPOSED CONTOUR
---	---	EXISTING INLET
---	---	PROPOSED INLET
---	---	EXISTING STORM SEWER PIPE
---	---	PROPOSED STORM SEWER PIPE
---	---	EXISTING STORM MANHOLE
---	---	PROPOSED STORM MANHOLE
---	---	PROPOSED MONUMENT
---	---	EXISTING SANITARY MANHOLE
---	---	PROPOSED SANITARY MANHOLE
---	---	EXISTING SANITARY SEWER PIPE
---	---	PROPOSED SANITARY SEWER PIPE
---	---	EXISTING ELECTRIC LINE
---	---	PROPOSED ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	PROPOSED WATER LINE
---	---	GAS PIPELINE
---	---	SOILS LINE
---	---	EXISTING CURB
---	---	PROPOSED CURB
---	---	LIGHT POLE & FIXTURE
---	---	PROPOSED SPOT ELEVATION
---	---	EXISTING SIGN
---	---	PROPOSED SIGN
---	---	WATER METER
---	---	WATER VALVE
---	---	EXISTING D-W ENDWALL
---	---	PROPOSED D-W ENDWALL
---	---	EDGE OF WOODLANDS
---	---	STEEP SLOPES >15%
---	---	RETAINING WALL
---	---	PROPOSED POROUS PAVEMENT
---	---	RIP RAP STABILIZATION
---	---	TREE TO BE SAVED



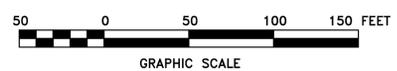
SEE SHEET 19

SEE SHEET 17

NOTE:
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SOILS CLASSIFICATION

L4A - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 L4B - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 U4B - URBAN LAND, 0 TO 8 PERCENT SLOPES
 U4Bb - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
 U4Bd - URBAN LAND-UDORTHERENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

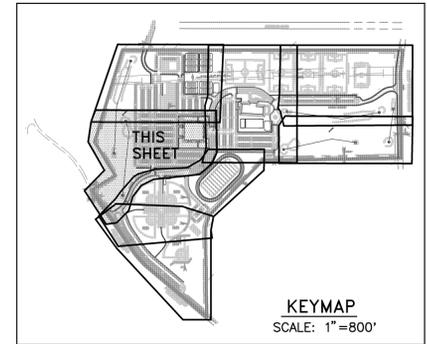
LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

EBW

Project- 2769
Date- 12-23-14
Scale- 1" = 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 18 OF 63
Ver.- 000

Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.pro Ver.- 000

SEE SHEET 18



SEE SHEET 17

LEGEND

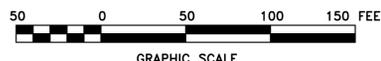
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---	---	PROPOSED STORM SEWER PIPE
---	---	EXISTING STORM MANHOLE
---	---	PROPOSED STORM MANHOLE
---	---	PROPOSED MONUMENT
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---	---	STEEP SLOPES >15%
---	---	RETAINING WALL
---	---	PROPOSED POROUS PAVEMENT
---	---	RIP RAP STABILIZATION
---	---	TREE TO BE SAVED

SEE SHEET 20

NOTE:
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 UeB - URBAN LAND, 0 TO 8 PERCENT SLOPES.
 UeD - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.
 UeDd - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN

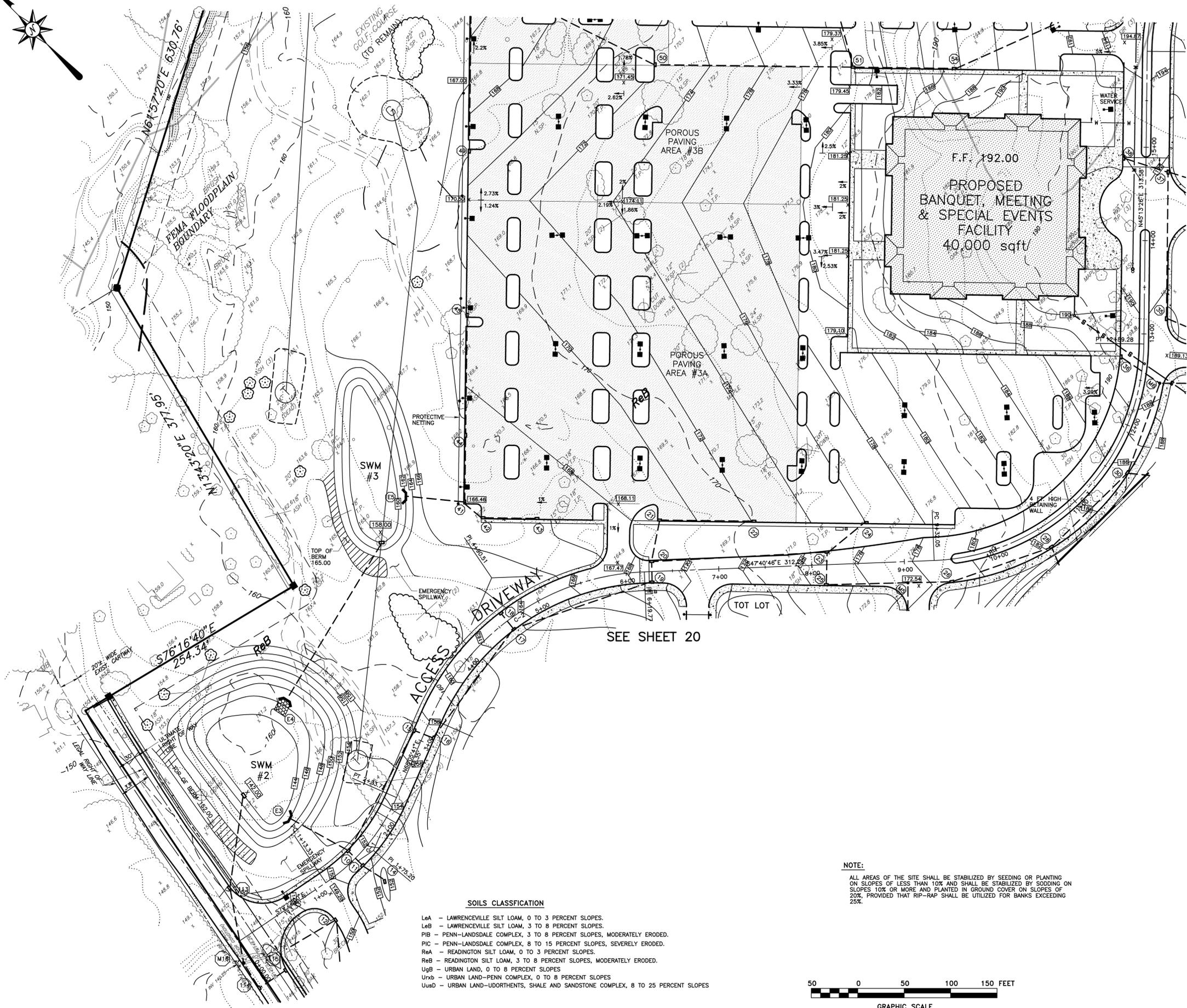
LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

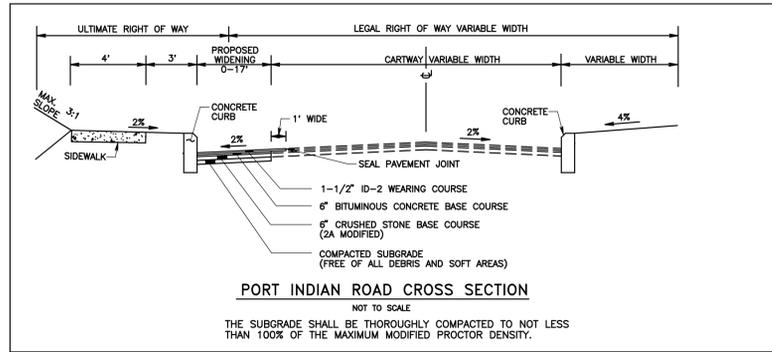
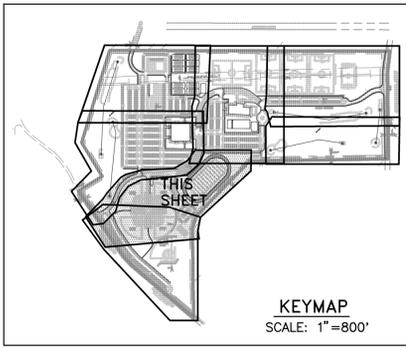
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 2769
Date- 12-23-14
Scale- 1"= 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 19 OF 63

Plotted: 2/20/2015 File: F:\JIB\2769\FPS\2769-SPORTS-2.pro Ver.- 000

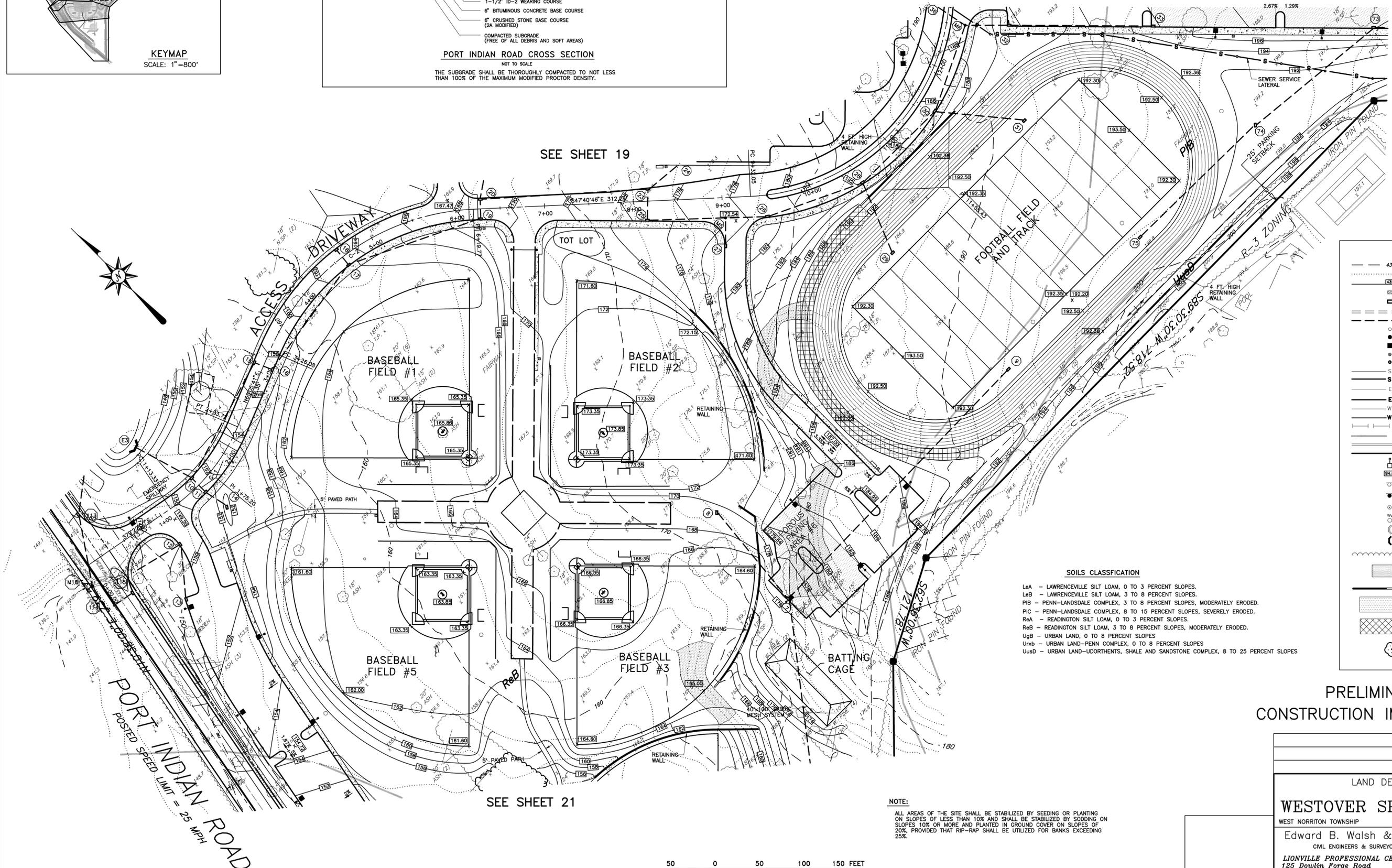




SEE SHEET 17

SEE SHEET 19

SEE SHEET 21



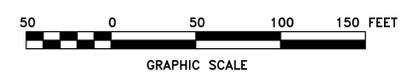
LEGEND

---	430	EXISTING INDEX CONTOUR
---		EXISTING INTERIOR CONTOUR
---	430	PROPOSED CONTOUR
---		EXISTING INLET
---		PROPOSED INLET
---		EXISTING STORM SEWER PIPE
---		PROPOSED STORM SEWER PIPE
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UgB	- URBAN LAND, 0 TO 8 PERCENT SLOPES
UrxB	- URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
UusD	- URBAN LAND-UDORTHERENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES

NOTE:
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CONSTRUCTION IMPROVEMENT PLAN**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

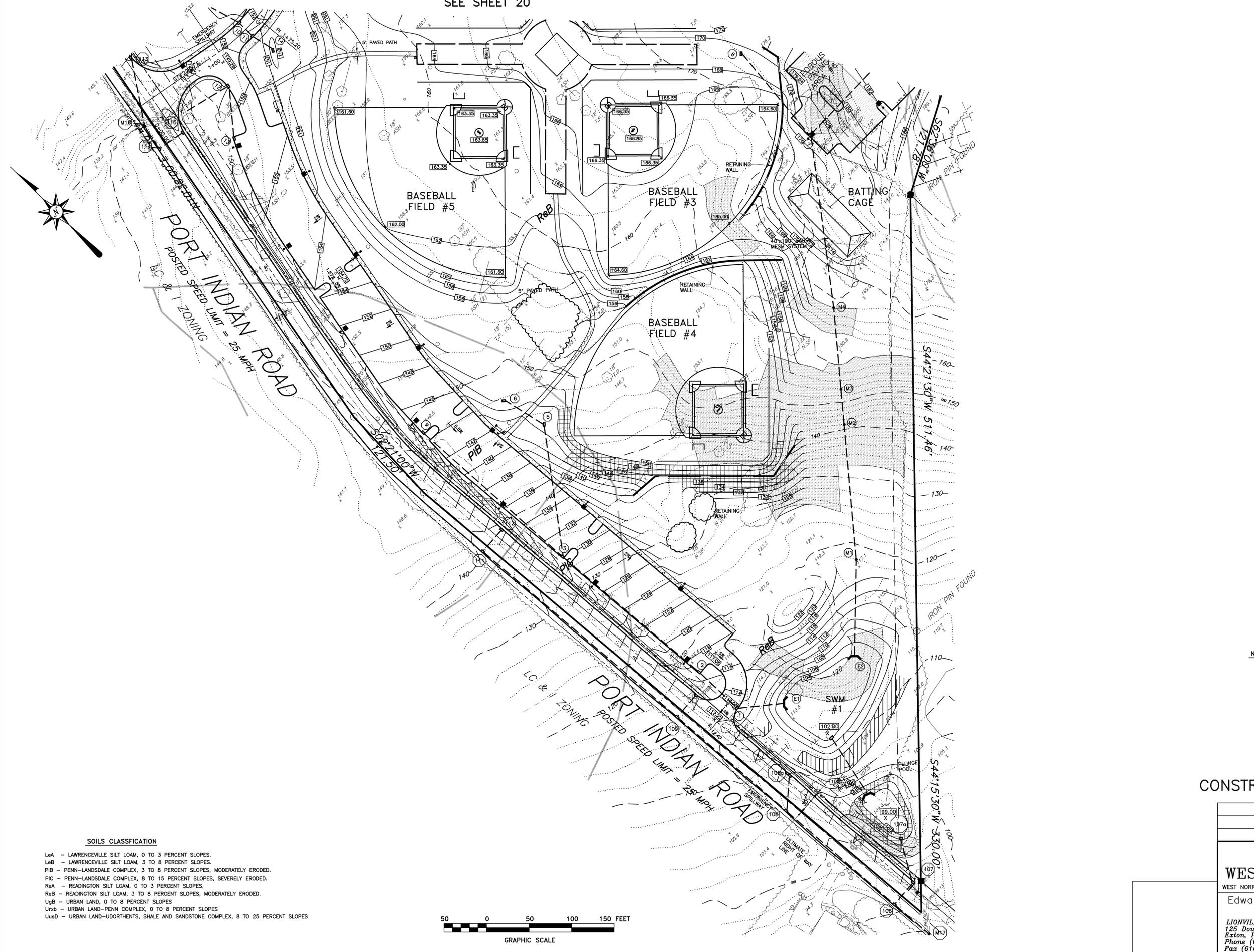
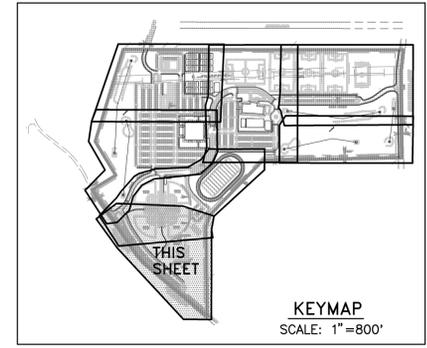
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- 1" = 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 20 OF 63
Ver- 000

Plotted: 2/20/2015 File: F:\JIB\2769\FPS\2769-SPORTS-2.pro

SEE SHEET 20



LEGEND

4.30	EXISTING INDEX CONTOUR
---	EXISTING INTERIOR CONTOUR
---	PROPOSED CONTOUR
---	EXISTING INLET
---	PROPOSED INLET
---	EXISTING STORM SEWER PIPE
---	PROPOSED STORM SEWER PIPE
○	EXISTING STORM MANHOLE
●	PROPOSED STORM MANHOLE
■	PROPOSED MONUMENT
○	EXISTING SANITARY MANHOLE
●	PROPOSED SANITARY MANHOLE
---	EXISTING SANITARY SEWER PIPE
---	PROPOSED SANITARY SEWER PIPE
---	EXISTING ELECTRIC LINE
---	PROPOSED ELECTRIC LINE
---	EXISTING WATER LINE
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---	GAS PIPELINE
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---	EXISTING CURB
---	PROPOSED CURB
+	LIGHT POLE & FIXTURE
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+	EXISTING SIGN
+	PROPOSED SIGN
+	WATER METER
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+	EXISTING D-W ENDWALL
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---	EDGE OF WOODLANDS
---	STEEP SLOPES >15%
---	RETAINING WALL
---	PROPOSED POROUS PAVEMENT
---	RIP RAP STABILIZATION
○	TREE TO BE SAVED

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PRELIMINARY PLAN
CONSTRUCTION IMPROVEMENT PLAN

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LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

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125 Dowlin Forge Road
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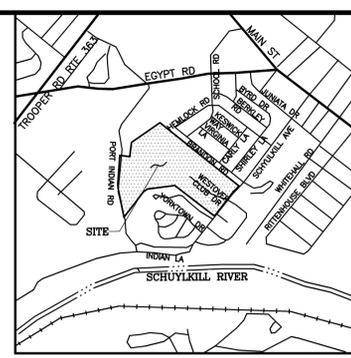
Project- 2769
Date- 12-23-14
Scale- 1"= 50'
Drawn- SLM
Checked- A.J.B.
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Ver.- 000

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- SOILS CLASSIFICATION**
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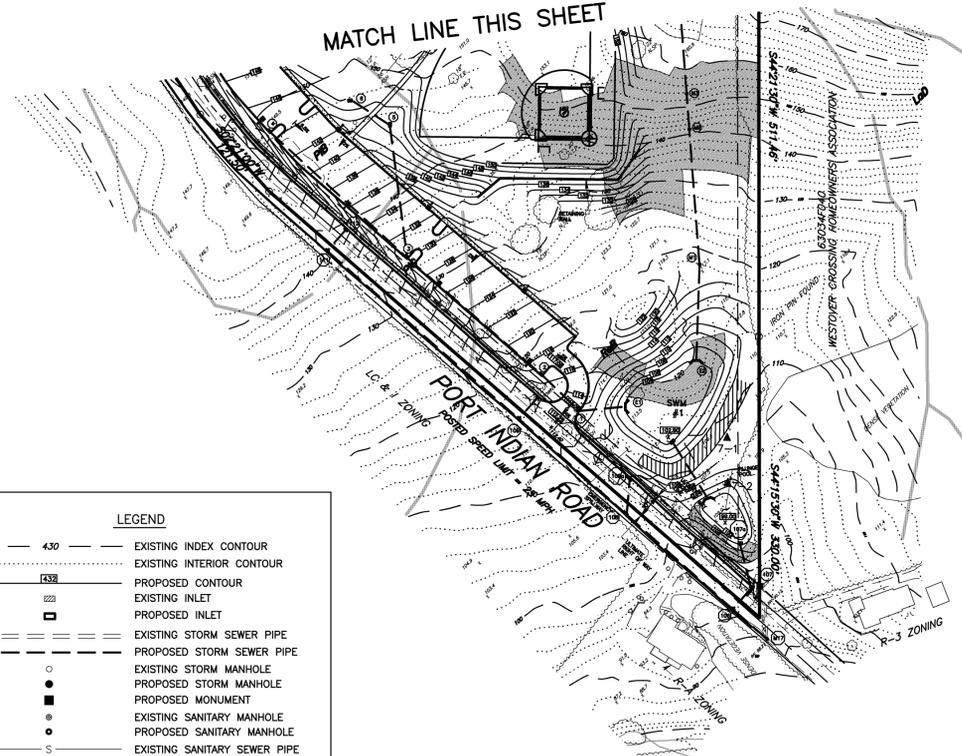


MATCH LINE SEE SHEET 23

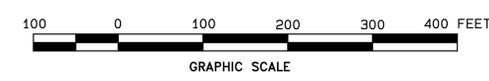
MATCH LINE THIS SHEET

LEGEND

	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	EXISTING INLET
	PROPOSED INLET
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
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	WATER VALVE
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	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	INFILTRATION TESTING LOCATION
	POROUS PAVING DRAINAGE AREA BOUNDARIES



**PRELIMINARY PLAN
POST CONSTRUCTION
STORMWATER MANAGEMENT
PLAN**



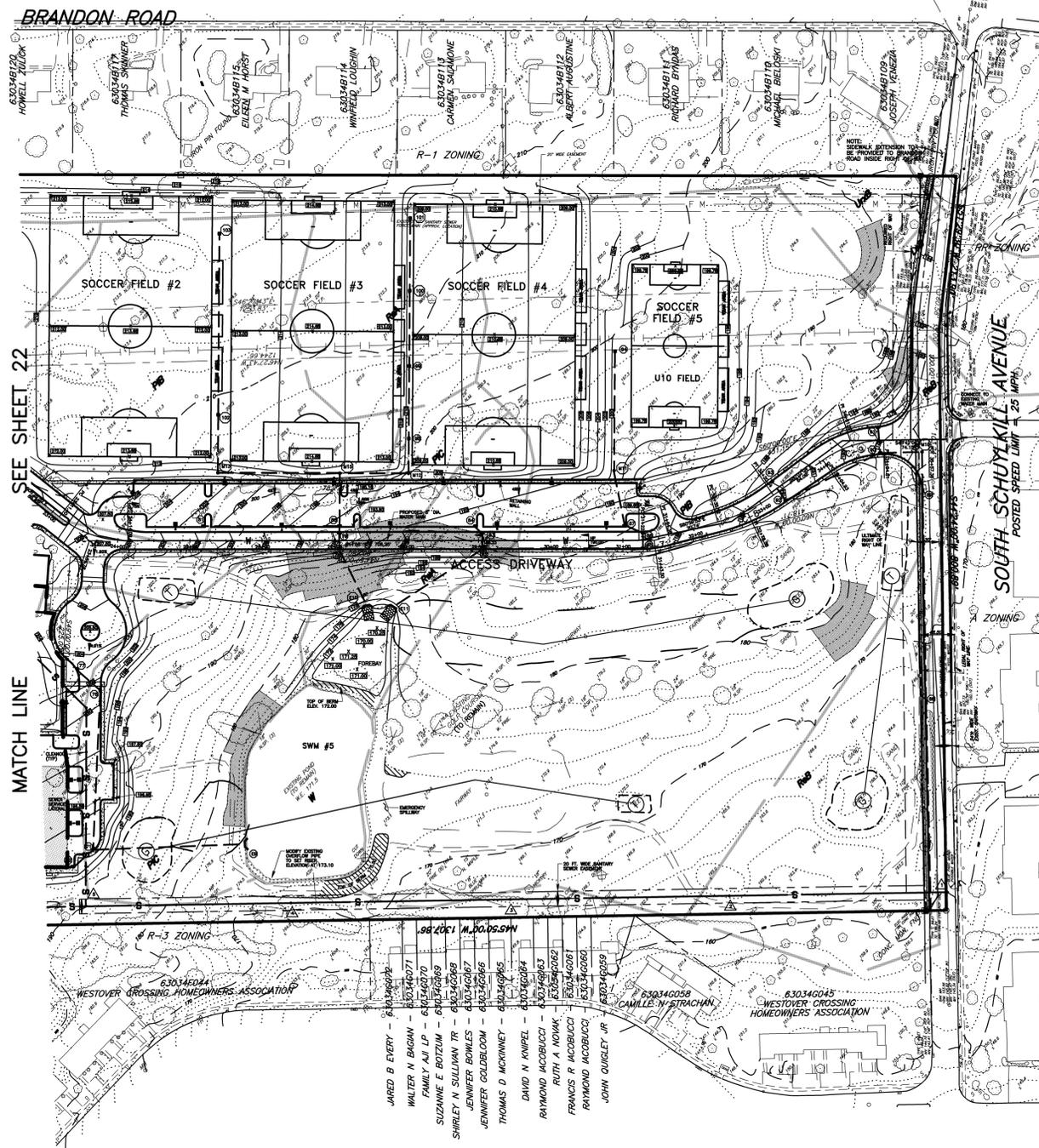
LAND DEVELOPMENT PLAN
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WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc. Project- 2769
CIVIL ENGINEERS & SURVEYORS Date- 12-23-14

LIONVILLE PROFESSIONAL CENTER Scale- 1" = 100'
125 Dowlin Forge Road Drawn- SLM
Eton, Pennsylvania 19341 Checked- A.J.B.
Phone (610) 903-0060 Sheet- 22 OF 63
Fax (610) 903-0080 Ver- 000

Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.prp



POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES AND OVERALL SITE

THE OPERATION AND MAINTENANCE OF THE STORMWATER BMP'S ON THE SITE ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

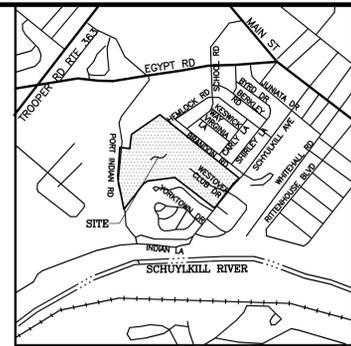
- A. SYSTEM DEWATERING: SHOULD DEWATERING OF THE RETENTION PONDS BE REQUIRED THE WATER MUST BE DISCHARGED TO DEP APPROVED DEWATERING FACILITY (DIRT BAG OR EQUAL).
- B. THE POROUS PAVEMENT MUST BE INSPECTED MONTHLY TO ENSURE SEDIMENT IS NOT CLOGGING THE VOIDS IN THE SURFACE. SHOULD THIS BE OCCURRING THE PARKING LOT MUST BE VACUUMED TO REMOVE THE SEDIMENT.
- C. THE FOREBAYS MUST BE INSPECTED TO ENSURE THE VEGETATION IS HEALTHY AND TO VERIFY SEDIMENT IS NOT ACCUMULATING IN THE BOTTOM OF THE SYSTEM. ALL SEDIMENT FOUND MUST BE REMOVED. ANY DEAD VEGETATION MUST BE REPLACED.
- D. THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS, INCLUDING POROUS PAVING, STORM INLETS, STORM DRAIN PIPES, DETENTION/RETENTION SYSTEMS, PLUNGE POOLS AND FOREBAYS ARE PERMANENT AND ARE NOT TO BE REMOVED. THE PROPERTY OWNER, HIS SUCCESSOR OR DESIGNS SHALL ASSUME THE RESPONSIBILITY FOR PERPETUAL MAINTENANCE OF THE SAID FACILITIES. IF THE OWNER, HIS SUCCESSOR OR ASSIGNS, FAILS IN ANY WAY TO MAINTAIN THE SAID FACILITIES OR CAUSES THE FACILITIES TO BE ALTERED OR REMOVED, UPON WRITTEN NOTIFICATION BY THE MUNICIPALITY, THE DEFECTS SHALL PROMPTLY BE CORRECTED AT THE OWNERS EXPENSE. UPON THE OWNERS FAILURE TO CORRECT THE DEFECT WITHIN THE TIME SPECIFIED BY THE MUNICIPALITY, THE OWNER, HIS SUCCESSOR OR ASSIGNS DO HEREBY AUTHORIZE THE MUNICIPALITY TO ENTER UPON THE SAID PROPERTY AND CAUSE THE REPAIRS, MAINTENANCE AND/OR CORRECTIONS TO BE MADE. A LIEN MAY BE FILED AGAINST THE PROPERTY FOR ALL COSTS OF ALL CORRECTIONS INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES, ALTHOUGH THE MUNICIPALITY IS UNDER NO OBLIGATION TO TAKE ACTION. THE PERMISSION GRANTED HEREIN SHALL CONSTITUTE AN ACCESS EASEMENT FOR MAINTENANCE PURPOSES SHOULD SAME BE NECESSARY BY THE MUNICIPALITY IN THE SOLE OPINION OF THE MUNICIPALITY. THE MAINTENANCE RESPONSIBILITY SHALL BE WRITTEN INTO THE DEED.
- E. DRIVEWAY AND PARKING LOT SWEEPING.
 1. THE PARKING LOTS IN THE DEVELOPMENT MUST BE SWEEPED A MINIMUM OF TWICE PER YEAR WITH A MECHANICAL OR VACUUM STREET SWEEPING DEVICE.
 2. THE SWEEPING MUST BE CONDUCTED AFTER BUSINESS HOURS.
 3. THE MANAGEMENT COMPANY FOR THE DEVELOPMENT MUST KEEP A RECORD OF ALL SWEEPING.

POST-CONSTRUCTION MAINTENANCE INSPECTION

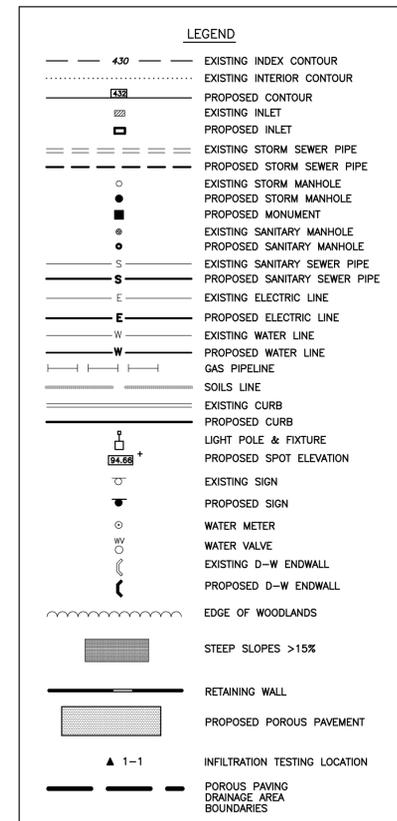
- A. STORMWATER MANAGEMENT FACILITIES AND WATER QUALITY STRUCTURES SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR RESPONSIBLE ENTITY ON THE FOLLOWING BASIS:
 1. TWO INSPECTIONS PER YEAR FOR THE FIRST TWO YEARS.
 2. ONE INSPECTION PER YEAR EACH YEAR AFTER THE FIRST TWO YEARS.
 3. DURING OR IMMEDIATELY AFTER CESSATION OF A 100-YEAR OR GREATER STORM EVENT.
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POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES

- A. ANY SEDIMENT OR DEBRIS THAT IS FOUND IN THE STORMWATER MANAGEMENT SYSTEMS OR THE BOTTOMS OF THE STRUCTURES MUST BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
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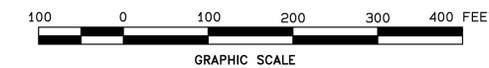
LOCATION MAP
1" = 2000'



**PRELIMINARY PLAN
POST CONSTRUCTION
STORMWATER MANAGEMENT
PLAN**

SOILS CLASSIFICATION

- LoA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LoB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIB - PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- PIC - PENN-LANDSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
- ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
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LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- 1" = 100'
Drawn- SLM
Checked- A.J.B.
Sheet- 23 OF 63

Plotted: 2/20/2015 File: F:\JEB\2769\FPS\2769-SPORTS-2.pro Ver.- 000

POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES AND OVERALL SITE

THE OPERATION AND MAINTENANCE OF THE STORMWATER BMP'S ON THE SITE ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

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SHOULD DEWATERING OF THE RETENTION PONDS BE REQUIRED THE WATER MUST BE DISCHARGED TO A DEP APPROVED DEWATERING FACILITY (DIRT BAG OR EQUAL).
- B. THE POROUS PAVEMENT MUST BE INSPECTED MONTHLY TO ENSURE SEDIMENT IS NOT CLOGGING THE VOIDS IN THE SURFACE. SHOULD THIS BE OCCURRING THE PARKING LOT MUST BE VACUUMED TO REMOVE THE SEDIMENT.
- C. THE FOREBAYS MUST BE INSPECTED TO ENSURE THE VEGETATION IS HEALTHY AND TO VERIFY SEDIMENT IS NOT ACCUMULATING IN THE BOTTOM OF THE SYSTEM. ALL SEDIMENT FOUND MUST BE REMOVED. ANY DEAD VEGETATION MUST BE REPLACED.
- D. THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS, INCLUDING POROUS PAVING, STORM INLETS, STORM DRAIN PIPES, DETENTION/RETENTION SYSTEMS, PLUNGE POOLS AND FOREBAYS ARE PERMANENT AND ARE NOT TO BE REMOVED. THE PROPERTY OWNER, HIS SUCCESSOR OR ASSIGNS SHALL ASSUME THE RESPONSIBILITY FOR PERPETUAL MAINTENANCE OF THE SAID FACILITIES. IF THE OWNER, HIS SUCCESSOR OR ASSIGNS, FAILS IN ANY WAY TO MAINTAIN THE SAID FACILITIES OR CAUSES THE FACILITIES TO BE ALTERED OR REMOVED, UPON WRITTEN NOTIFICATION BY THE MUNICIPALITY, THE DEFECTS SHALL PROMPTLY BE CORRECTED AT THE OWNERS EXPENSE. UPON THE OWNERS FAILURE TO CORRECT THE DEFECT WITHIN THE TIME SPECIFIED BY THE MUNICIPALITY, THE OWNER, HIS SUCCESSOR OR ASSIGNS DO HEREBY AUTHORIZE THE MUNICIPALITY TO ENTER UPON THE SAID PROPERTY AND CAUSE THE REPAIRS, MAINTENANCE AND/OR CORRECTIONS TO BE MADE. A LIEN MAY BE FILED AGAINST THE PROPERTY FOR ALL COSTS OF ALL CORRECTION INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES, ALTHOUGH THE MUNICIPALITY IS UNDER NO OBLIGATION TO TAKE ACTION. THE PERMISSION GRANTED HEREIN SHALL CONSTITUTE AN ACCESS EASEMENT FOR MAINTENANCE PURPOSES SHOULD SAME BE NECESSARY BY THE MUNICIPALITY IN THE SOLE OPINION OF THE MUNICIPALITY. THE MAINTENANCE RESPONSIBILITY SHALL BE WRITTEN INTO THE DEED.

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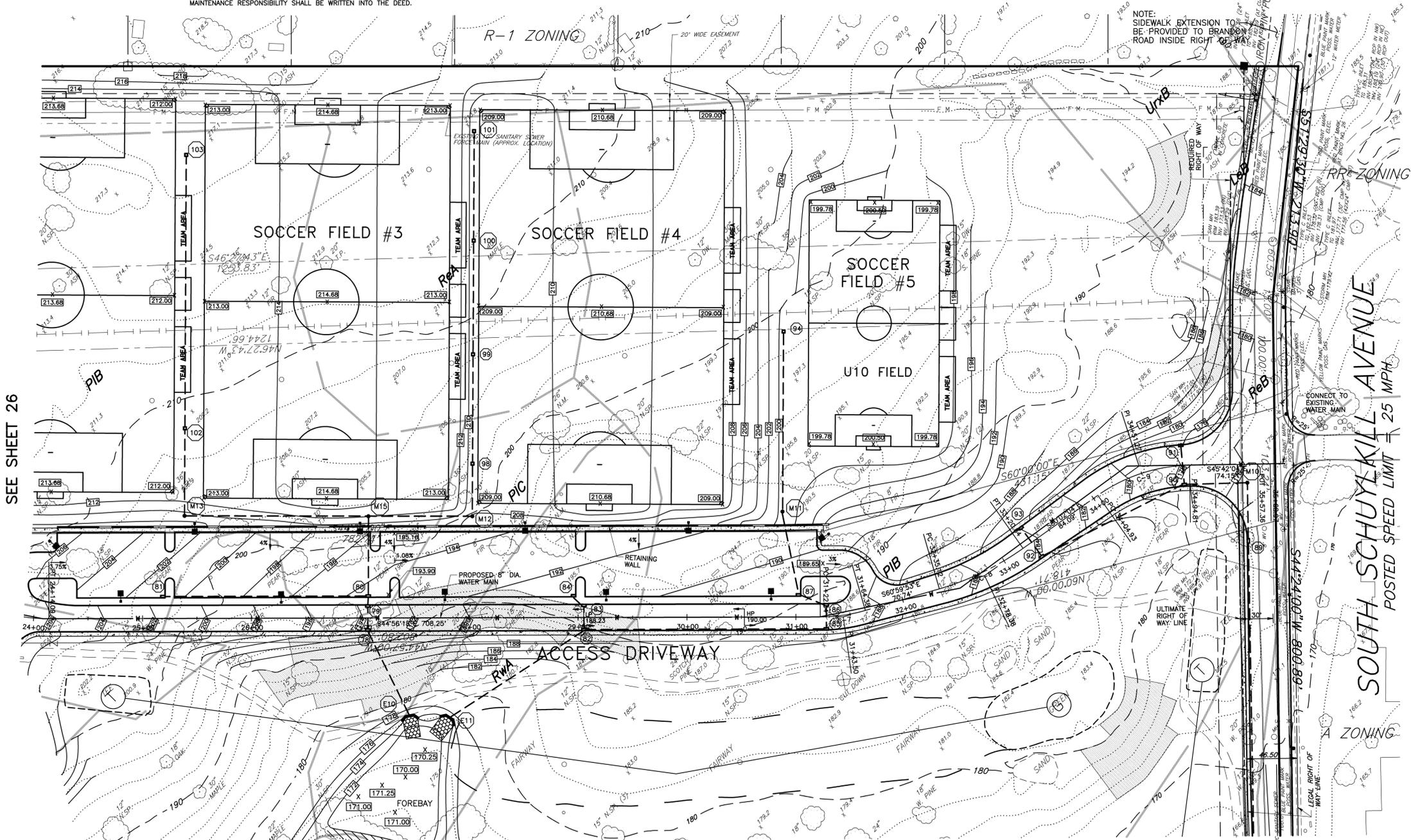
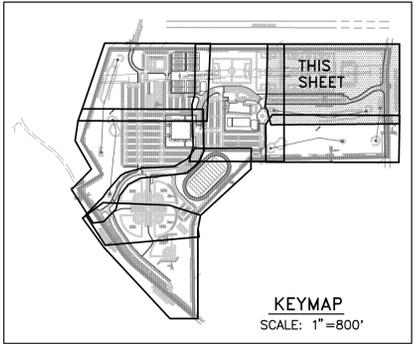
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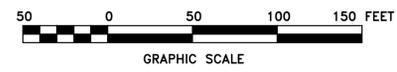
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---	---	EXISTING INTERIOR CONTOUR
---	---	PROPOSED CONTOUR
---	---	EXISTING INLET
---	---	PROPOSED INLET
---	---	EXISTING STORM SEWER PIPE
---	---	PROPOSED STORM SEWER PIPE
---	---	EXISTING STORM MANHOLE
---	---	PROPOSED STORM MANHOLE
---	---	PROPOSED MONUMENT
---	---	EXISTING SANITARY MANHOLE
---	---	PROPOSED SANITARY MANHOLE
---	---	EXISTING SANITARY SEWER PIPE
---	---	PROPOSED SANITARY SEWER PIPE
---	---	EXISTING ELECTRIC LINE
---	---	PROPOSED ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	PROPOSED WATER LINE
---	---	GAS PIPELINE
---	---	SOILS LINE
---	---	EXISTING CURB
---	---	PROPOSED CURB
---	---	LIGHT POLE & FIXTURE
---	---	PROPOSED SPOT ELEVATION
---	---	EXISTING SIGN
---	---	PROPOSED SIGN
---	---	WATER METER
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SEE SHEET 26

SEE SHEET 25

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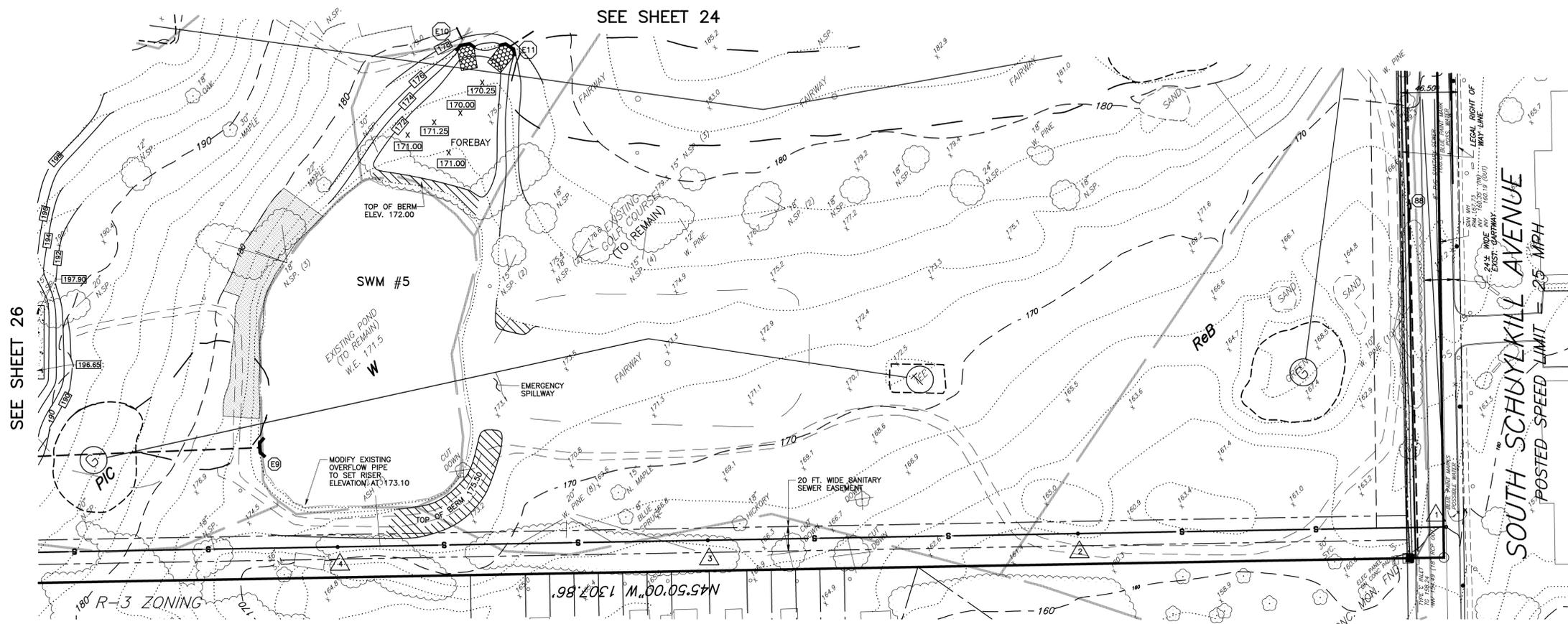
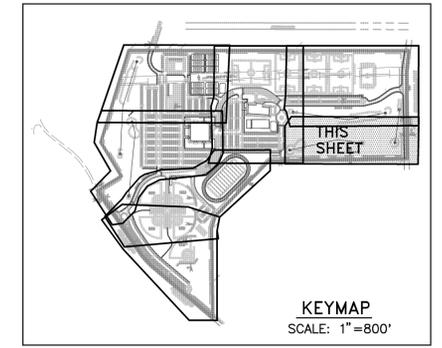
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LEGEND

---	430	EXISTING INDEX CONTOUR
---		EXISTING INTERIOR CONTOUR
---	1238	PROPOSED CONTOUR
---		EXISTING INLET
---		PROPOSED INLET
---		EXISTING STORM SEWER PIPE
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○		EXISTING STORM MANHOLE
●		PROPOSED STORM MANHOLE
○		EXISTING SANITARY MANHOLE
●		PROPOSED SANITARY MANHOLE
S		EXISTING SANITARY SEWER PIPE
S		PROPOSED SANITARY SEWER PIPE
E		EXISTING ELECTRIC LINE
E		PROPOSED ELECTRIC LINE
W		EXISTING WATER LINE
W		PROPOSED WATER LINE
---		GAS PIPELINE
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□		LIGHT POLE & FIXTURE
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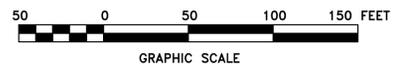
SEE SHEET 26

SEE SHEET 24

SOUTH SCHUYLKILL AVENUE
POSTED SPEED LIMIT 25 MPH

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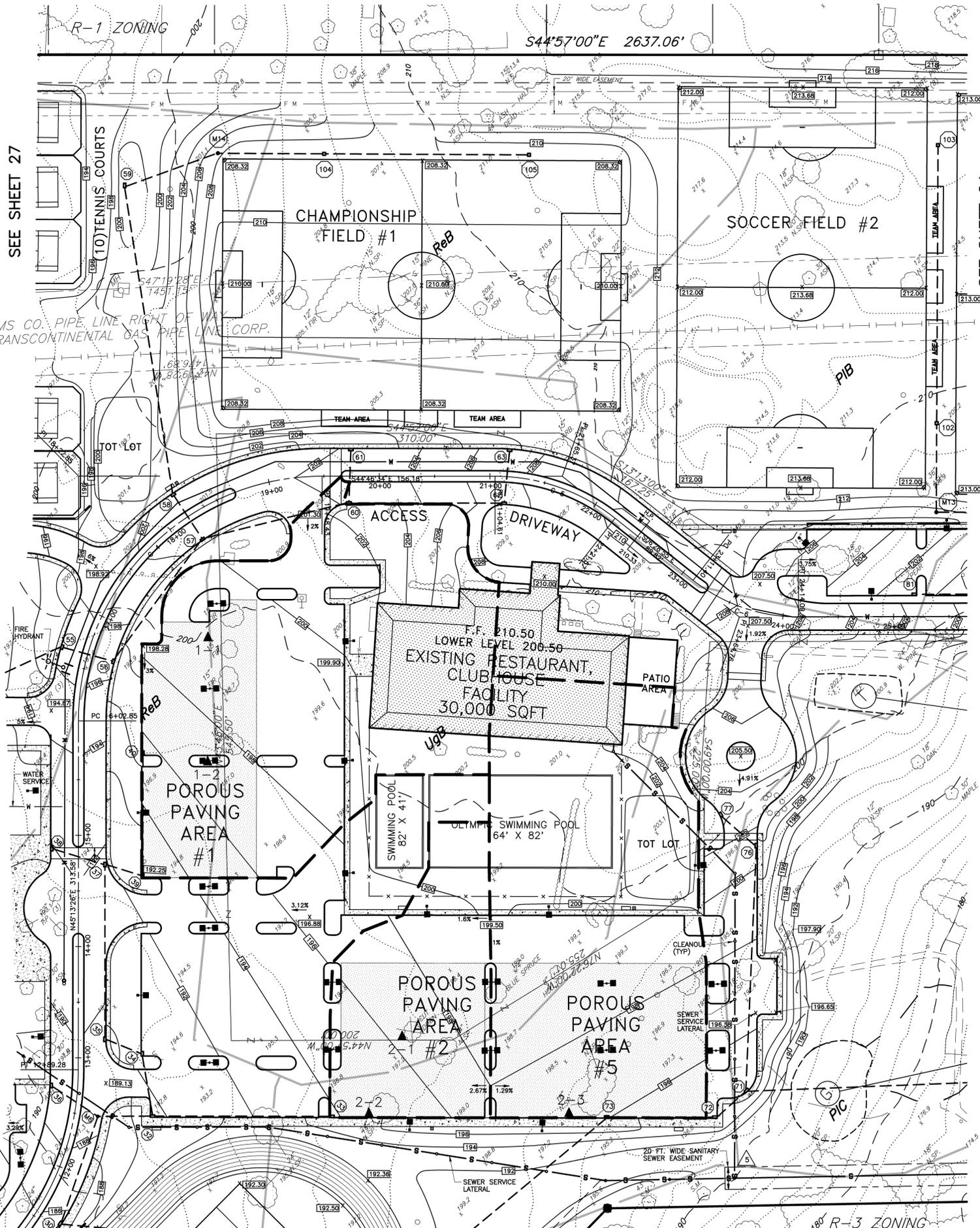
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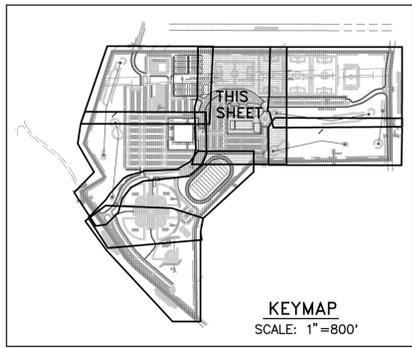
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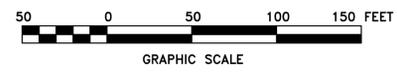
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LEGEND

---	430	EXISTING INTERIOR CONTOUR
---		EXISTING INTERIOR CONTOUR
---		PROPOSED CONTOUR
---		EXISTING INLET
---		PROPOSED INLET
---		EXISTING STORM SEWER PIPE
---		PROPOSED STORM SEWER PIPE
---		EXISTING STORM MANHOLE
---		PROPOSED STORM MANHOLE
---		EXISTING SANITARY MANHOLE
---		PROPOSED SANITARY MANHOLE
---		EXISTING SANITARY SEWER PIPE
---		PROPOSED SANITARY SEWER PIPE
---		EXISTING ELECTRIC LINE
---		PROPOSED ELECTRIC LINE
---		EXISTING WATER LINE
---		PROPOSED WATER LINE
---		GAS PIPELINE
---		SOILS LINE
---		EXISTING CURB
---		PROPOSED CURB
---		LIGHT POLE & FIXTURE
---		PROPOSED SPOT ELEVATION
---		EXISTING SIGN
---		PROPOSED SIGN
---		WATER METER
---		WATER VALVE
---		EXISTING D-W ENDWALL
---		PROPOSED D-W ENDWALL
---		EDGE OF WOODLANDS
---		STEEP SLOPES >15%
---		RETAINING WALL
---		PROPOSED POROUS PAVEMENT
---		INFILTRATION TESTING LOCATION
---		POROUS PAVING DRAINAGE AREA BOUNDARIES



**PRELIMINARY PLAN
POST CONSTRUCTION
STORMWATER MANAGEMENT
PLAN**

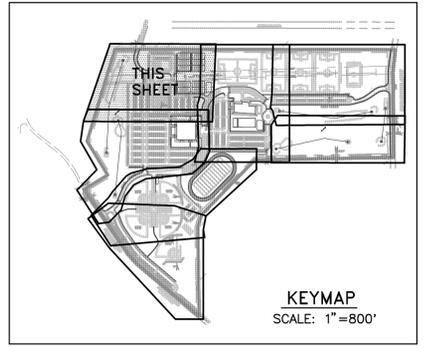
LAND DEVELOPMENT PLAN FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
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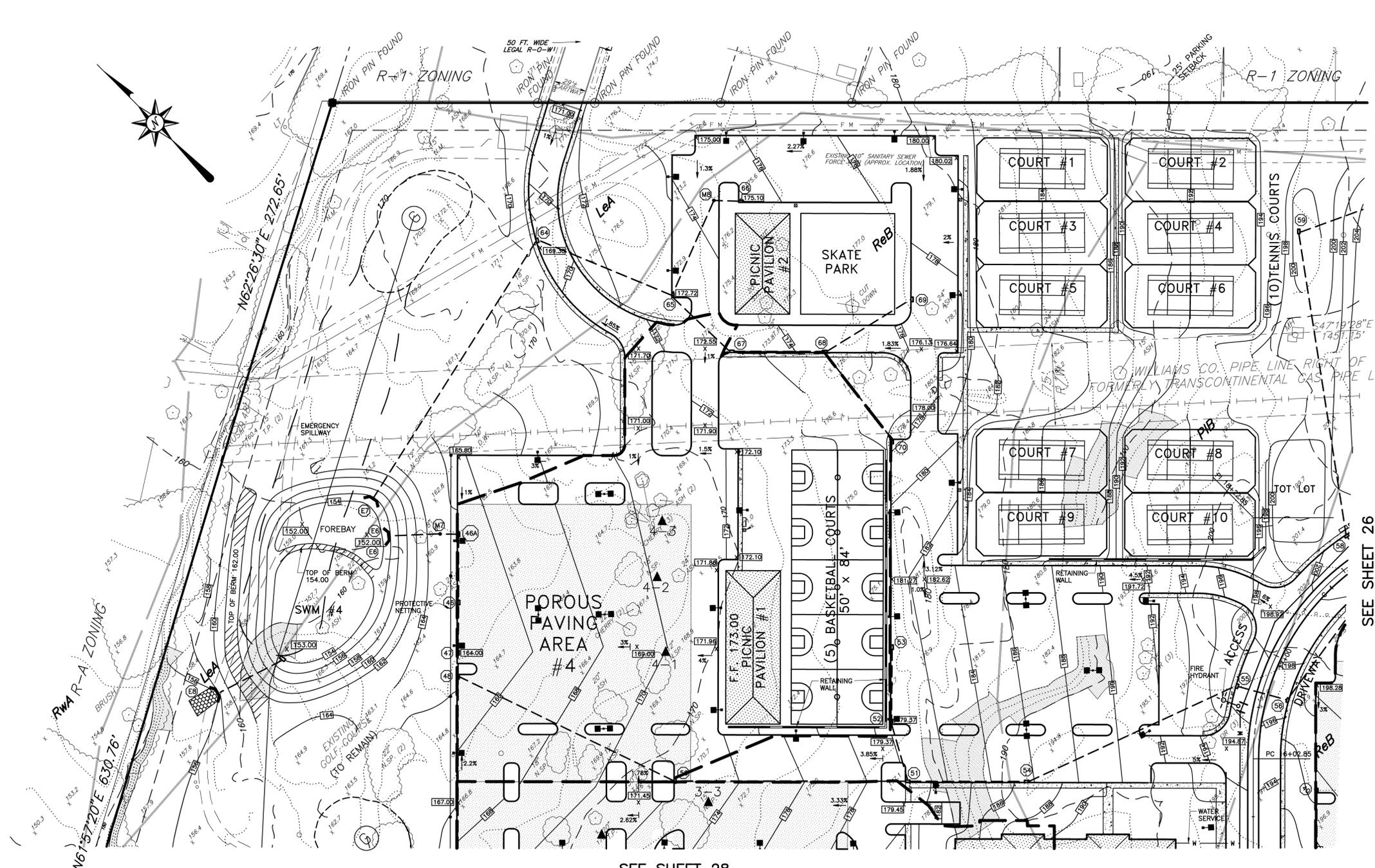
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Date- 12-23-14
Scale- 1"= 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 26 OF 63
Ver- 000

Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.pro



LEGEND

---	430	EXISTING INDEX CONTOUR
---	138	EXISTING INTERIOR CONTOUR
---	---	PROPOSED CONTOUR
---	---	EXISTING INLET
---	---	PROPOSED INLET
---	---	EXISTING STORM SEWER PIPE
---	---	PROPOSED STORM SEWER PIPE
---	---	EXISTING STORM MANHOLE
---	---	PROPOSED STORM MANHOLE
---	---	PROPOSED MONUMENT
---	---	EXISTING SANITARY MANHOLE
---	---	PROPOSED SANITARY MANHOLE
---	---	EXISTING SANITARY SEWER PIPE
---	---	PROPOSED SANITARY SEWER PIPE
---	---	EXISTING ELECTRIC LINE
---	---	PROPOSED ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	PROPOSED WATER LINE
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---	---	EXISTING CURB
---	---	PROPOSED CURB
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---	---	PROPOSED POROUS PAVEMENT
---	---	INFILTRATION TESTING LOCATION
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SEE SHEET 26

SEE SHEET 28

POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES AND OVERALL SITE

THE OPERATION AND MAINTENANCE OF THE STORMWATER BMP'S ON THE SITE ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

- A. SYSTEM DEWATERING: SHOULD DEWATERING OF THE RETENTION PONDS BE REQUIRED THE WATER MUST BE DISCHARGED TO A DEP APPROVED DEWATERING FACILITY (DIRT BAG OR EQUAL).
- B. THE POROUS PAVEMENT MUST BE INSPECTED MONTHLY TO ENSURE SEDIMENT IS NOT CLOGGING THE VOIDS IN THE SURFACE. SHOULD THIS BE OCCURRING THE PARKING LOT MUST BE VACUUMED TO REMOVE THE SEDIMENT.
- C. THE FOREBAYS MUST BE INSPECTED TO ENSURE THE VEGETATION IS HEALTHY AND TO VERIFY SEDIMENT IS NOT ACCUMULATING IN THE BOTTOM OF THE SYSTEM. ALL SEDIMENT FOUND MUST BE REMOVED. ANY DEAD VEGETATION MUST BE REPLACED.
- D. THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS, INCLUDING POROUS PAVING, STORM INLETS, STORM DRAIN PIPES, DETENTION/RETENTION SYSTEMS, PLUNGE POOLS AND FOREBAYS ARE PERMANENT AND ARE NOT TO BE REMOVED. THE PROPERTY OWNER, HIS SUCCESSOR OR DESIGN SHALL ASSUME THE RESPONSIBILITY FOR PERPETUAL MAINTENANCE OF THE SAID FACILITIES. IF THE OWNER, HIS SUCCESSOR OR ASSIGNS, FAILS IN ANY WAY TO MAINTAIN THE SAID FACILITIES OR CAUSES THE FACILITIES TO BE ALTERED OR REMOVED, UPON WRITTEN NOTIFICATION BY THE MUNICIPALITY, THE DEFECTS SHALL PROMPTLY BE CORRECTED AT THE OWNERS EXPENSE. UPON THE OWNERS FAILURE TO CORRECT THE DEFECT WITHIN THE TIME SPECIFIED BY THE MUNICIPALITY, THE OWNER, HIS SUCCESSOR OR ASSIGNS DO HEREBY AUTHORIZE THE MUNICIPALITY TO ENTER UPON THE SAID PROPERTY AND CAUSE THE REPAIRS, MAINTENANCE AND/OR CORRECTIONS TO BE MADE. A LIEN MAY BE FILED AGAINST THE PROPERTY FOR ALL COSTS OF ALL CORRECTIONS INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES. ALTHOUGH THE MUNICIPALITY IS UNDER NO OBLIGATION TO TAKE ACTION, THE PERMISSION GRANTED HEREIN SHALL CONSTITUTE AN ACCESS EASEMENT FOR MAINTENANCE PURPOSES SHOULD SAME BE NECESSARY BY THE MUNICIPALITY IN THE SOLE OPINION OF THE MUNICIPALITY. THE MAINTENANCE RESPONSIBILITY SHALL BE WRITTEN INTO THE DEED.

E. DRIVEWAY AND PARKING LOT SWEEPING.

1. THE PARKING LOTS IN THE DEVELOPMENT MUST BE SWEEPED A MINIMUM OF TWICE PER YEAR WITH A MECHANICAL OR VACUUM STREET SWEEPING DEVICE.
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POST-CONSTRUCTION MAINTENANCE INSPECTION

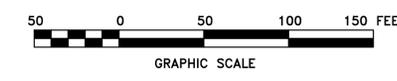
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SOILS CLASSIFICATION

- LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIC - PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- P1B - PENN-LANDSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
- ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
- ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- UgB - URBAN LAND, 0 TO 8 PERCENT SLOPES
- UrbB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
- UuBd - URBAN LAND-UODRTHENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



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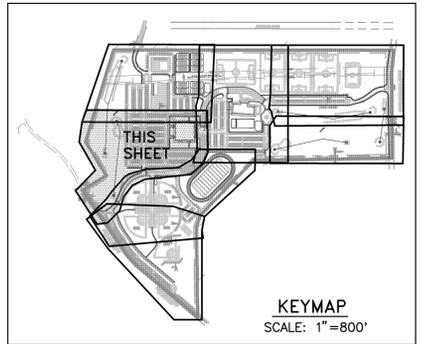
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Sheet- 27 OF 63
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SEE SHEET 27

SEE SHEET 26

SEE SHEET 29



LEGEND

---	4.30	EXISTING INDEX CONTOUR
---		EXISTING INTERIOR CONTOUR
---	153	PROPOSED CONTOUR
---		EXISTING INLET
---		PROPOSED INLET
---		EXISTING STORM SEWER PIPE
---		PROPOSED STORM SEWER PIPE
---		EXISTING STORM MANHOLE
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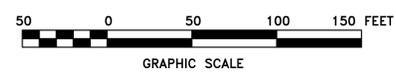
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WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

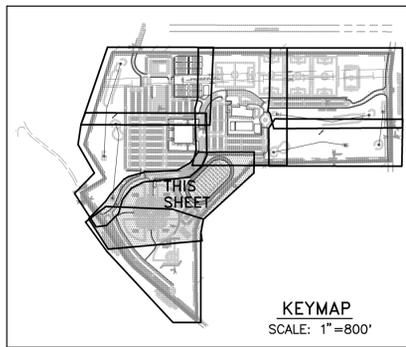
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EBW

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Sheet- 28 OF 63

Plotted: 2/20/2015 **File: F:\JIB\2769\FPS\2769-SPORTS-2.prc** **Ver.- 000**



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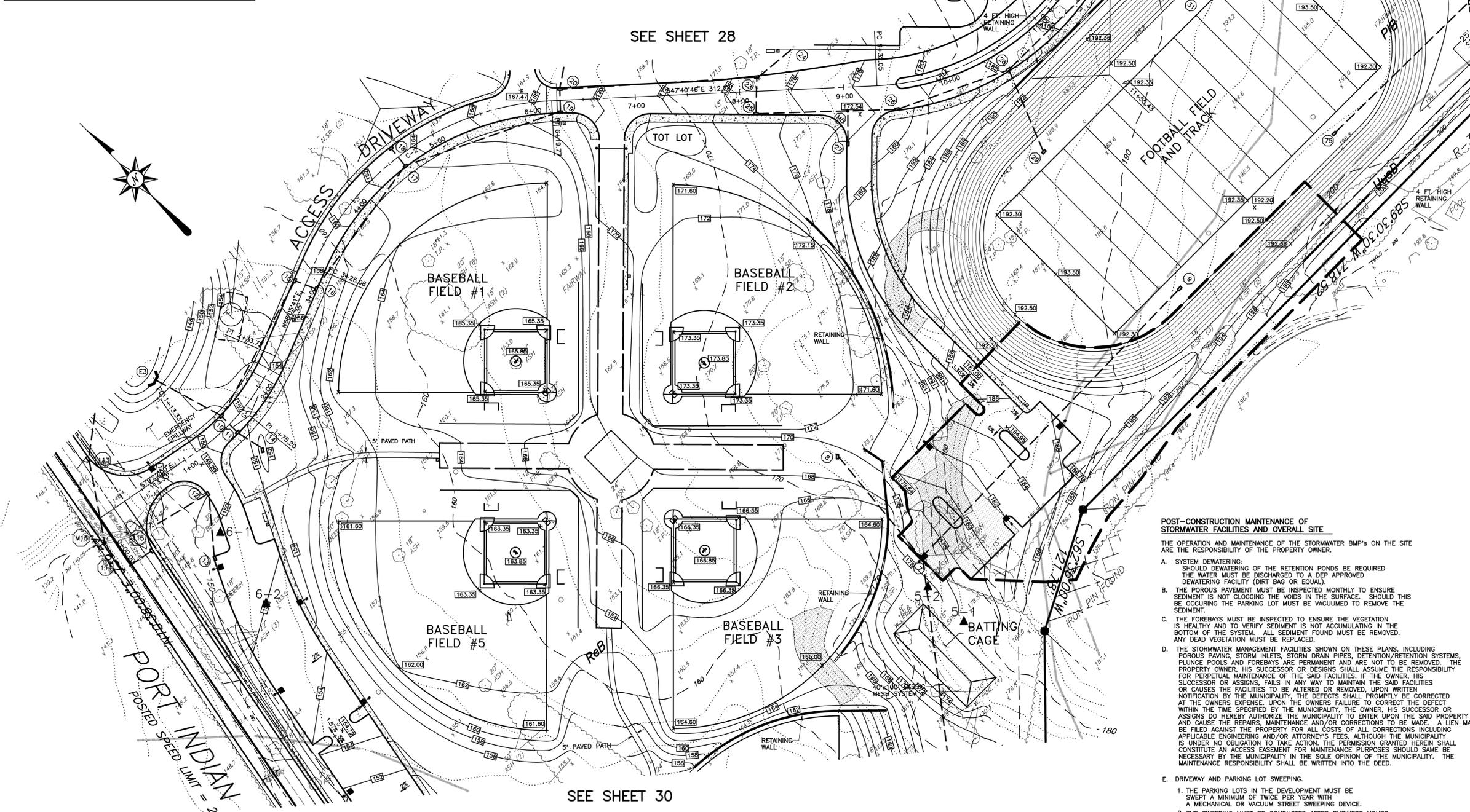
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SEE SHEET 26

SEE SHEET 28

SEE SHEET 30



LEGEND

---	4.30	EXISTING INDEX CONTOUR
---		EXISTING INTERIOR CONTOUR
---	4.30	PROPOSED CONTOUR
---	2	EXISTING INLET
---	2	PROPOSED INLET
---		EXISTING STORM SEWER PIPE
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---	14.88	PROPOSED SPOT ELEVATION
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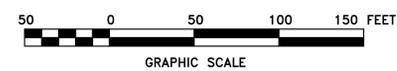
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3. THE MANAGEMENT COMPANY FOR THE DEVELOPMENT MUST KEEP A RECORD OF ALL SWEEPING.

SOILS CLASSIFICATION

LaB	- LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
LsB	- LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
PIB	- PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
PIC	- PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
ReA	- READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
ReB	- READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
UgB	- URBAN LAND, 0 TO 8 PERCENT SLOPES
Urb	- URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
UuB	- URBAN LAND-UDORTHERNS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



**PRELIMINARY PLAN
POST CONSTRUCTION
STORMWATER MANAGEMENT
PLAN**

LAND DEVELOPMENT PLAN FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc. **Project- 2769**
CIVIL ENGINEERS & SURVEYORS **Date- 12-23-14**

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

EBW

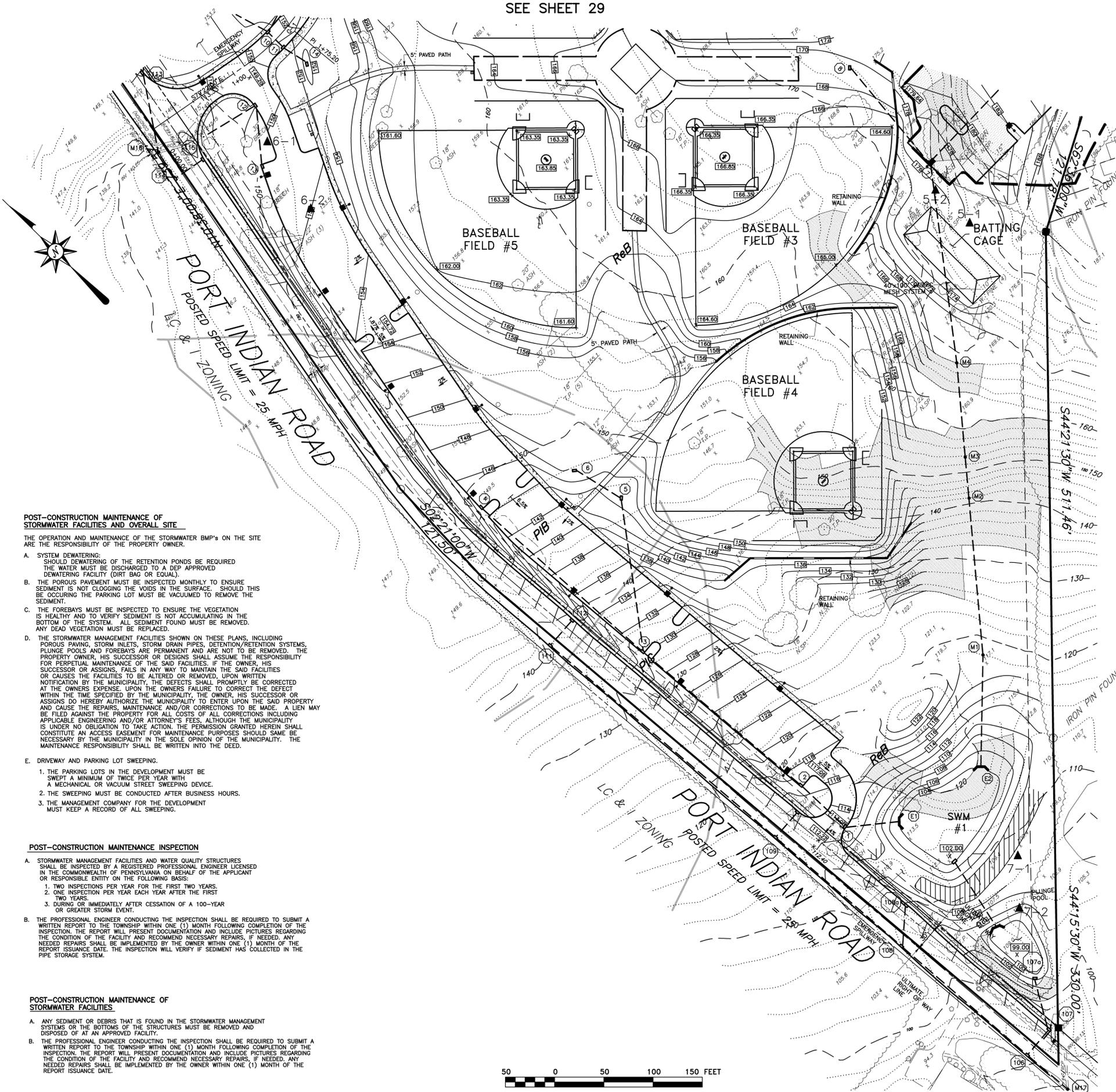
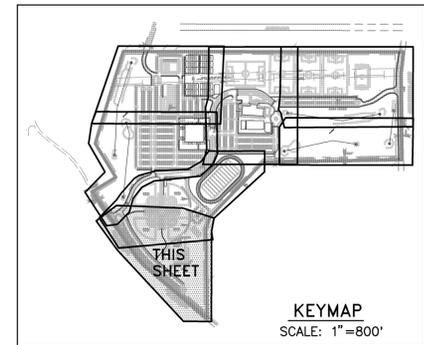
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Checked- A.J.B.
Sheet- 29 OF 63
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SEE SHEET 29

SOILS CLASSIFICATION

- LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
- ReA - READINGTON SILT LOAM, 0 TO 8 PERCENT SLOPES.
- ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- UgB - URBAN LAND, 0 TO 8 PERCENT SLOPES.
- UrxB - URBAN LAND-PENNY COMPLEX, 0 TO 8 PERCENT SLOPES.
- UudD - URBAN LAND-UDORTHERTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES.



POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES AND OVERALL SITE

THE OPERATION AND MAINTENANCE OF THE STORMWATER BMP'S ON THE SITE ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

- A. SYSTEM DEWATERING: SHOULD DEWATERING OF THE RETENTION PONDS BE REQUIRED THE WATER MUST BE DISCHARGED TO A DEP APPROVED DEWATERING FACILITY (DIRT BAG OR EQUAL).
- B. THE POROUS PAVEMENT MUST BE INSPECTED MONTHLY TO ENSURE SEDIMENT IS NOT OLOGGING THE VOIDS IN THE SURFACE. SHOULD THIS BE OCCURRING THE PARKING LOT MUST BE VACUUMED TO REMOVE THE SEDIMENT.
- C. THE FOREBAYS MUST BE INSPECTED TO ENSURE THE VEGETATION IS HEALTHY AND TO VERIFY SEDIMENT IS NOT ACCUMULATING IN THE BOTTOM OF THE SYSTEM. ANY SEDIMENT FOUND MUST BE REMOVED. ANY DEAD VEGETATION MUST BE REPLACED.
- D. THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS, INCLUDING POROUS PAVING, STORM INLETS, STORM DRAIN PIPES, DETENTION/RETENTION SYSTEMS, PLUNGE POOLS AND FOREBAYS ARE PERMANENT AND ARE NOT TO BE REMOVED. THE PROPERTY OWNER, HIS SUCCESSOR OR DESIGNS SHALL ASSUME THE RESPONSIBILITY FOR PERPETUAL MAINTENANCE OF THE SAID FACILITIES. IF THE OWNER, HIS SUCCESSOR OR ASSIGNS, FAILS IN ANY WAY TO MAINTAIN THE SAID FACILITIES OR CAUSES THE FACILITIES TO BE ALTERED OR REMOVED, UPON WRITTEN NOTIFICATION BY THE MUNICIPALITY, THE DEFECTS SHALL PROMPTLY BE CORRECTED AT THE OWNERS EXPENSE. UPON THE OWNERS FAILURE TO CORRECT THE DEFECT WITHIN THE TIME SPECIFIED BY THE MUNICIPALITY, THE OWNER, HIS SUCCESSOR OR ASSIGNS DO HEREBY AUTHORIZE THE MUNICIPALITY TO ENTER UPON THE SAID PROPERTY AND CAUSE THE REPAIRS, MAINTENANCE AND/OR CORRECTIONS TO BE MADE. A LIEN MAY BE FILED AGAINST THE PROPERTY FOR ALL COSTS OF ALL CORRECTIONS INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES, ALTHOUGH THE MUNICIPALITY IS UNDER NO OBLIGATION TO TAKE ACTION. THE PERMISSION GRANTED HEREIN SHALL CONSTITUTE AN ACCESS EASEMENT FOR MAINTENANCE PURPOSES SHOULD SAME BE NECESSARY BY THE MUNICIPALITY IN THE SOLE OPINION OF THE MUNICIPALITY. THE MAINTENANCE RESPONSIBILITY SHALL BE WRITTEN INTO THE DEED.
- E. DRIVEWAY AND PARKING LOT SWEEPING.
 1. THE PARKING LOTS IN THE DEVELOPMENT MUST BE SWEEPED A MINIMUM OF TWICE PER YEAR WITH A MECHANICAL OR VACUUM STREET SWEEPING DEVICE.
 2. THE SWEEPING MUST BE CONDUCTED AFTER BUSINESS HOURS.
 3. THE MANAGEMENT COMPANY FOR THE DEVELOPMENT MUST KEEP A RECORD OF ALL SWEEPING.

POST-CONSTRUCTION MAINTENANCE INSPECTION

- A. STORMWATER MANAGEMENT FACILITIES AND WATER QUALITY STRUCTURES SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR RESPONSIBLE ENTITY ON THE FOLLOWING BASIS:
 1. TWO INSPECTIONS PER YEAR FOR THE FIRST TWO YEARS.
 2. ONE INSPECTION PER YEAR EACH YEAR AFTER THE FIRST TWO YEARS.
 3. DURING OR IMMEDIATELY AFTER CESSATION OF A 100-YEAR OR GREATER STORM EVENT.
- B. THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE (1) MONTH FOLLOWING COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE (1) MONTH OF THE REPORT ISSUANCE DATE. THE INSPECTION WILL VERIFY IF SEDIMENT HAS COLLECTED IN THE PIPE STORAGE SYSTEM.

POST-CONSTRUCTION MAINTENANCE OF STORMWATER FACILITIES

- A. ANY SEDIMENT OR DEBRIS THAT IS FOUND IN THE STORMWATER MANAGEMENT SYSTEMS OR THE BOTTOMS OF THE STRUCTURES MUST BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
- B. THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE (1) MONTH FOLLOWING COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE (1) MONTH OF THE REPORT ISSUANCE DATE.



LEGEND

---	430	EXISTING INDEX CONTOUR
---	---	EXISTING INTERIOR CONTOUR
---	---	PROPOSED CONTOUR
---	---	EXISTING INLET
---	---	PROPOSED INLET
---	---	EXISTING STORM SEWER PIPE
---	---	PROPOSED STORM SEWER PIPE
---	---	EXISTING STORM MANHOLE
---	---	PROPOSED STORM MANHOLE
---	---	EXISTING SANITARY MANHOLE
---	---	PROPOSED SANITARY MANHOLE
---	---	EXISTING SANITARY SEWER PIPE
---	---	PROPOSED SANITARY SEWER PIPE
---	---	EXISTING ELECTRIC LINE
---	---	PROPOSED ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	PROPOSED WATER LINE
---	---	GAS PIPELINE
---	---	SOILS LINE
---	---	EXISTING CURB
---	---	PROPOSED CURB
---	---	LIGHT POLE & FIXTURE
---	---	PROPOSED SPOT ELEVATION
---	---	EXISTING SIGN
---	---	PROPOSED SIGN
---	---	WATER METER
---	---	WATER VALVE
---	---	EXISTING D-W ENDWALL
---	---	PROPOSED D-W ENDWALL
---	---	EDGE OF WOODLANDS
---	---	STEEP SLOPES >15%
---	---	RETAINING WALL
---	---	PROPOSED POROUS PAVEMENT
---	---	INFILTRATION TESTING LOCATION
---	---	POROUS PAVING DRAINAGE AREA BOUNDARIES

PRELIMINARY PLAN POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc. Project- 2769
CIVIL ENGINEERS & SURVEYORS Date- 12-23-14

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125 Dowlin Forge Road Drawn- SLM
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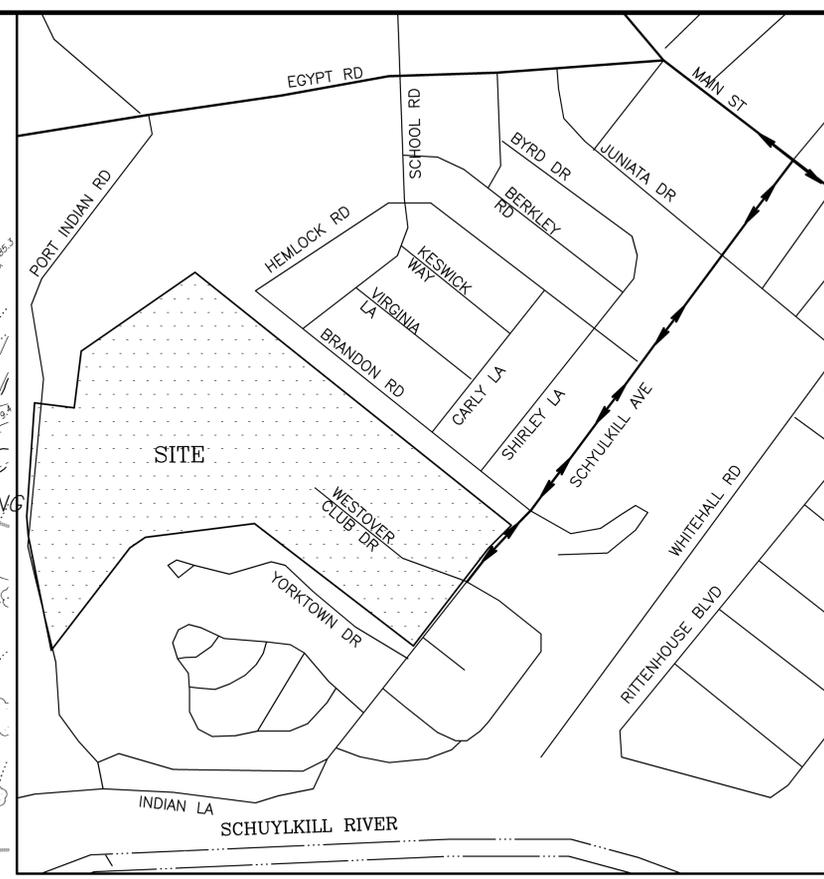
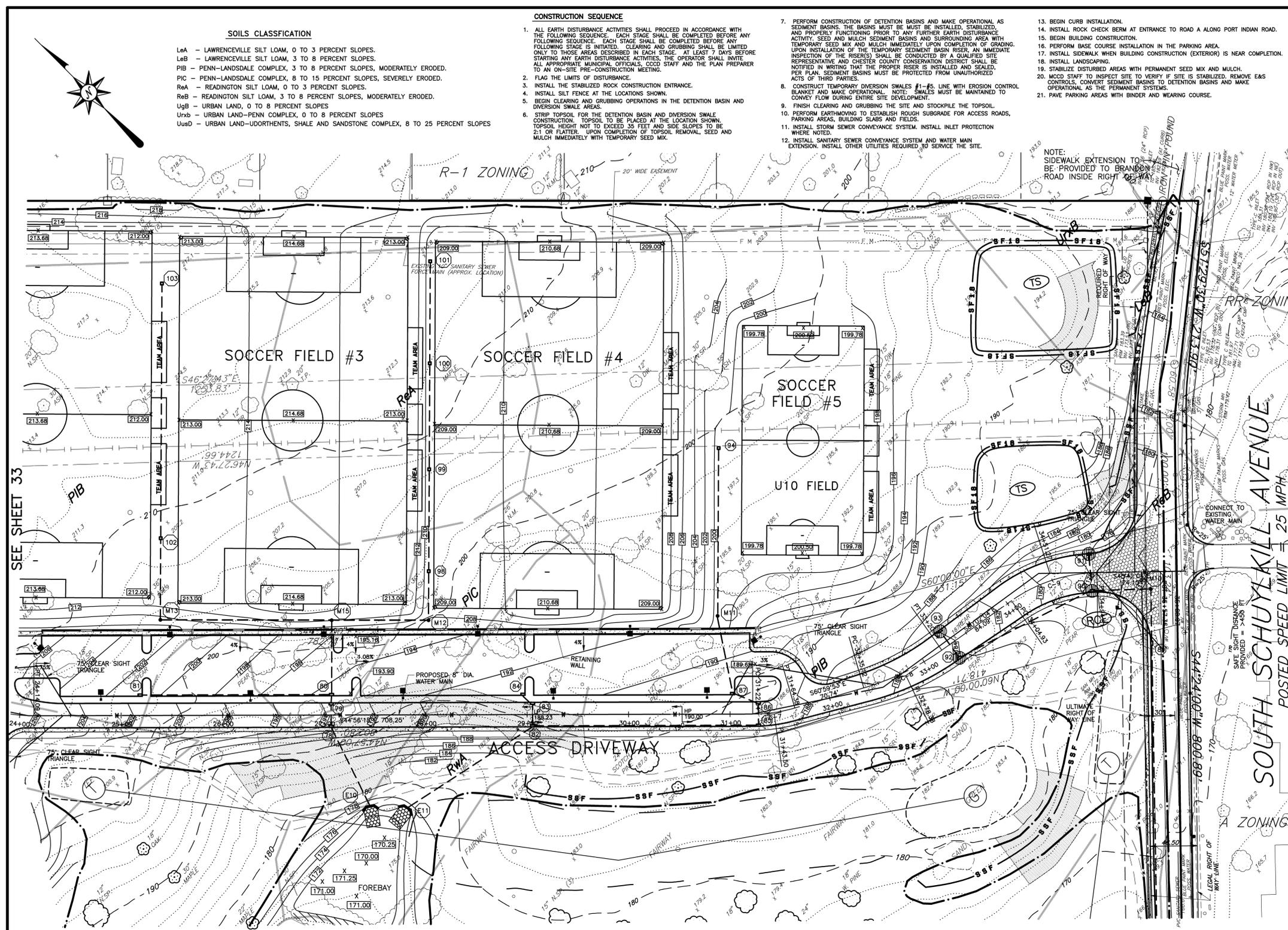
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- LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIC - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- P1B - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
- ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
- ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- UgB - URBAN LAND, 0 TO 8 PERCENT SLOPES.
- Urbx - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES.
- Uudx - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES.

CONSTRUCTION SEQUENCE

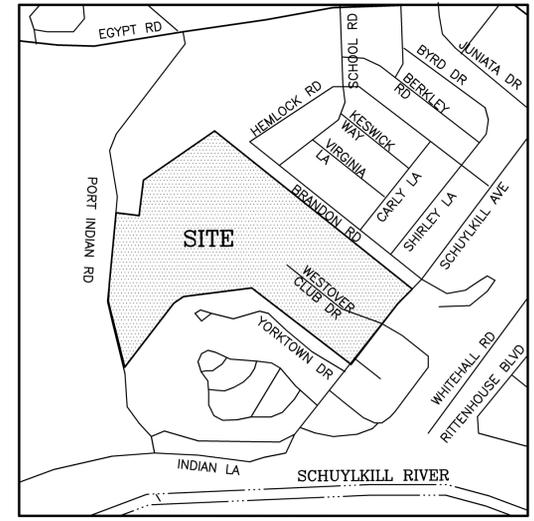
1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL WRITE ALL APPROPRIATE MUNICIPAL OFFICIALS, CCOCD STAFF AND THE PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. FLAG THE LIMITS OF DISTURBANCE.
3. INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE.
4. INSTALL SILT FENCE AT THE LOCATIONS SHOWN.
5. BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
6. STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE CONSTRUCTION. TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 35 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
7. PERFORM CONSTRUCTION OF DETENTION BASINS AND MAKE OPERATIONAL AS SEDIMENT BASINS. THE BASINS MUST BE INSTALLED, STABILIZED, AND PROPERLY FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE. ACTIVITY, SEED AND MULCH SEDIMENT BASINS AND SURROUNDING AREA WITH TEMPORARY SEED MIX AND MULCH IMMEDIATELY UPON COMPLETION OF GRADING. UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED REPRESENTATIVE AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS INSTALLED AND SEALED. PER PLAN, SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
8. CONSTRUCT TEMPORARY DIVERSION SWALES #1-#5. LINE WITH EROSION CONTROL CONVEY FLOW DURING ENTIRE SITE DEVELOPMENT.
9. FINISH CLEARING AND GRUBBING THE SITE AND STOCKPILE THE TOPSOIL. PARKING AREAS, BUILDING SLABS AND FIELDS.
10. PERFORM EARTHMOVING TO ESTABLISH ROUGH SUBGRADE FOR ACCESS ROADS, PARKING AREAS, BUILDING SLABS AND FIELDS.
11. INSTALL STORM SEWER CONVEYANCE SYSTEM. INSTALL INLET PROTECTION WHERE NOTED.
12. INSTALL SANITARY SEWER CONVEYANCE SYSTEM AND WATER MAIN EXTENSION. INSTALL OTHER UTILITIES REQUIRED TO SERVICE THE SITE.
13. BEGIN CURB INSTALLATION.
14. INSTALL ROCK CHECK BERM AT ENTRANCE TO ROAD ALONG PORT INDIAN ROAD.
15. BEGIN BUILDING CONSTRUCTION.
16. PERFORM BASE COURSE INSTALLATION IN THE PARKING AREA.
17. INSTALL SIDEWALK WHEN BUILDING CONSTRUCTION (EXTERIOR) IS NEAR COMPLETION.
18. INSTALL LANDSCAPING.
19. STABILIZE DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
20. ACCORD STAFF TO INSPECT SITE TO VERIFY SITE IS STABILIZED, REMOVE EAS CONTROLS, CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
21. PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

NOTE:
SIDEWALK EXTENSION TO BE PROVIDED TO BRANDON ROAD INSIDE RIGHT OF WAY.



CONSTRUCTION TRAFFIC ACCESS ROUTE

NOTE:
THE PROPOSED EARTH DISTURBANCE IS FOR THE CONSTRUCTION OF A SPORTS AND RECREATION COMPLEX ALONG WITH THE REQUIRED PARKING AREAS AND FACILITIES REQUIRED TO SERVICE THE SITE AND MEET THE APPLICABLE LOCAL AND STATE REGULATIONS.



LOCATION MAP
1"=800'

**PRELIMINARY PLAN
EROSION & SEDIMENTATION
CONTROL PLAN**

ACT 287 SERIAL NUMBER: 20110770127
EDWARD B. WALSH & ASSOCIATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY LINES, STRUCTURES, ETC. SHOWN ON THE PLANS, NOR DOES E. B. WALSH & ASSOC., INC. GUARANTEE THAT ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. ARE SHOWN.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF ALL SUBSURFACE UTILITY LINES, STRUCTURES, ETC. BEFORE THE START OF WORK, BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776.

UTILITIES NOTIFIED
WEST NORRITON TWP.
PA AMERICAN WATER
COMCAST
REC-0
NORTH RIDGE EST. CONDOMINIUM
NEON TRANSCOM
TRANSCONTINENTAL/WILLIAMS GAS
VERIZON

EROSION & SEDIMENTATION CONTROL LEGEND

	SEDIMENT BASIN DRAINAGE AREA BOUNDARY
	LIMIT OF DISTURBANCE
	TEMPORARY GRADING
	18" SILT FENCE
	30" SILT FENCE
	SUPER SILT FENCE
	INLET PROTECTION
	TOPSOIL STOCKPILE
	SEDIMENT TRAP
	SEDIMENT BASIN
	TEMPORARY RISER
	ROCK FILTER
	ROCK CONSTR. ENTRANCE

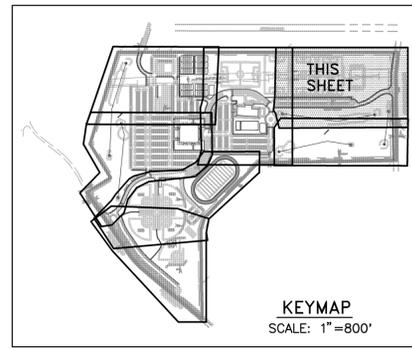
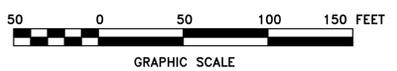
LEGEND

	EXISTING INDEX CONTOUR
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	PROPOSED CONTOUR
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	PROPOSED INLET
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	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
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	PROPOSED WATER LINE
	GAS PIPELINE
	SOILS LINE

	EXISTING CURB
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	LIGHT POLE & FIXTURE
	PROPOSED SPOT ELEVATION
	EXISTING SIGN
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	EXISTING D-W ENDWALL
	PROPOSED D-W ENDWALL
	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	TREE TO BE SAVED

- NOTES:**
1. DURING CONSTRUCTION A WATER TRUCK AND OR OTHER MEASURE MUST BE PROVIDED TO PREVENT DUST FROM GOING ON TO ADJACENT PROPERTIES.
 2. THE SOILS FOUND ON THE SITE MAY EXHIBIT A HIGH WATER TABLE WITH IT BEING WITHIN 1 FOOT OF THE SURFACE. ANY WATER THAT IS ENCOUNTERED DURING CONSTRUCTION MUST BE PUMPED TO AN APPROVED DEWATERING FACILITY.

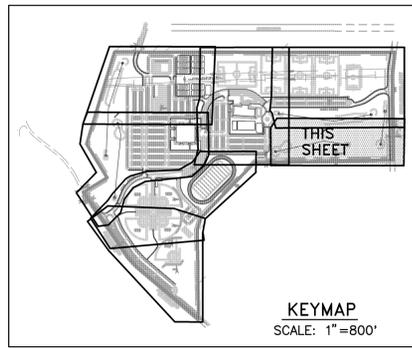
TOTAL DISTURBED AREA = 76.44 ACRES
(3,329,726 SF DISTURBED OUT OF A TOTAL AREA OF 3,935,036 SF TOTAL TRACT AREA)



KEYMAP
SCALE: 1"=800'

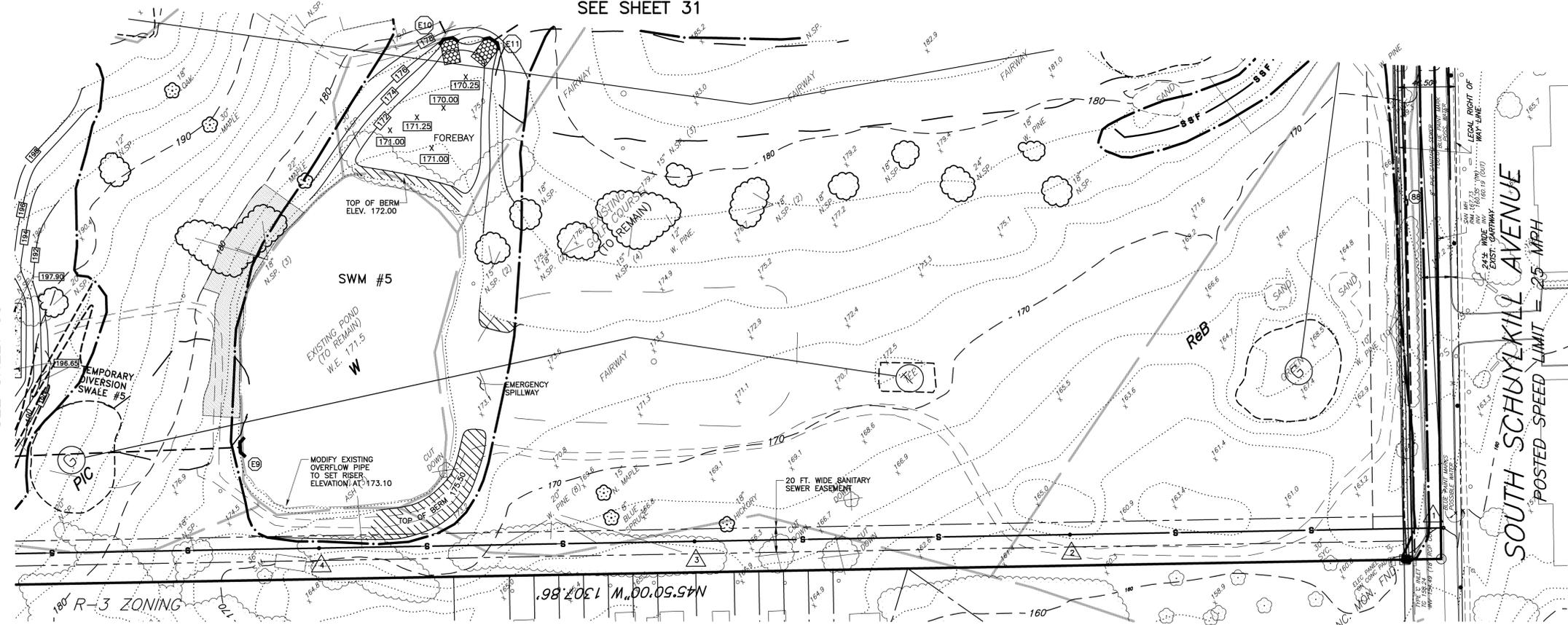
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Sheet- 31 OF 63
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SEE SHEET 31

SEE SHEET 33



CONSTRUCTION SEQUENCE

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2. FLAG THE LIMITS OF DISTURBANCE.
3. INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE.
4. INSTALL SILT FENCE AT THE LOCATIONS SHOWN.
5. BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
6. STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE CONSTRUCTION. TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 35 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
7. PERFORM CONSTRUCTION OF DETENTION BASINS AND MAKE OPERATIONAL AS SEDIMENT BASINS. THE BASINS MUST BE INSTALLED, STABILIZED, AND PROPERLY FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITY. SEED AND MULCH SEDIMENT BASINS AND SURROUNDING AREA WITH TEMPORARY SEED MIX AND MULCH IMMEDIATELY UPON COMPLETION OF GRADING. UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS INSTALLED AND SEALED, PER PLAN. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
8. CONSTRUCT TEMPORARY DIVERSION SWALES #1-#5. LINE WITH EROSION CONTROL BLANKET AND MAKE OPERATIONAL. NOTE: SWALES MUST BE MAINTAINED TO CONVEY FLOW DURING ENTIRE SITE DEVELOPMENT.
9. FINISH CLEARING AND GRUBBING THE SITE AND STOCKPILE THE TOPSOIL.
10. PERFORM EARTHMOVING TO ESTABLISH ROUGH SUBGRADE FOR ACCESS ROADS, PARKING AREAS, BUILDING SLABS AND FIELDS.
11. INSTALL STORM SEWER CONVEYANCE SYSTEM. INSTALL INLET PROTECTION WHERE NOTED.
12. INSTALL SANITARY SEWER CONVEYANCE SYSTEM AND WATER MAIN EXTENSION. INSTALL OTHER UTILITIES REQUIRED TO SERVICE THE SITE.
13. BEGIN CURB INSTALLATION.
14. INSTALL ROCK CHECK BERM AT ENTRANCE TO ROAD ALONG PORT INDIAN ROAD.
15. BEGIN BUILDING CONSTRUCTION.
16. PERFORM BASE COURSE INSTALLATION IN THE PARKING AREA.
17. INSTALL SIDEWALK WHEN BUILDING CONSTRUCTION (EXTERIOR) IS NEAR COMPLETION.
18. INSTALL LANDSCAPING.
19. STABILIZE DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
20. MOOD STAFF TO INSPECT SITE TO VERIFY IF SITE IS STABILIZED. REMOVE E&S CONTROLS. CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
21. PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

NOTES:

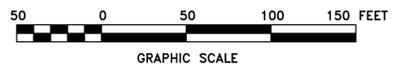
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---	PROPOSED INLET
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---	PROPOSED STORM SEWER PIPE
○	EXISTING STORM MANHOLE
●	PROPOSED STORM MANHOLE
○	PROPOSED MONUMENT
○	EXISTING SANITARY MANHOLE
○	PROPOSED SANITARY MANHOLE
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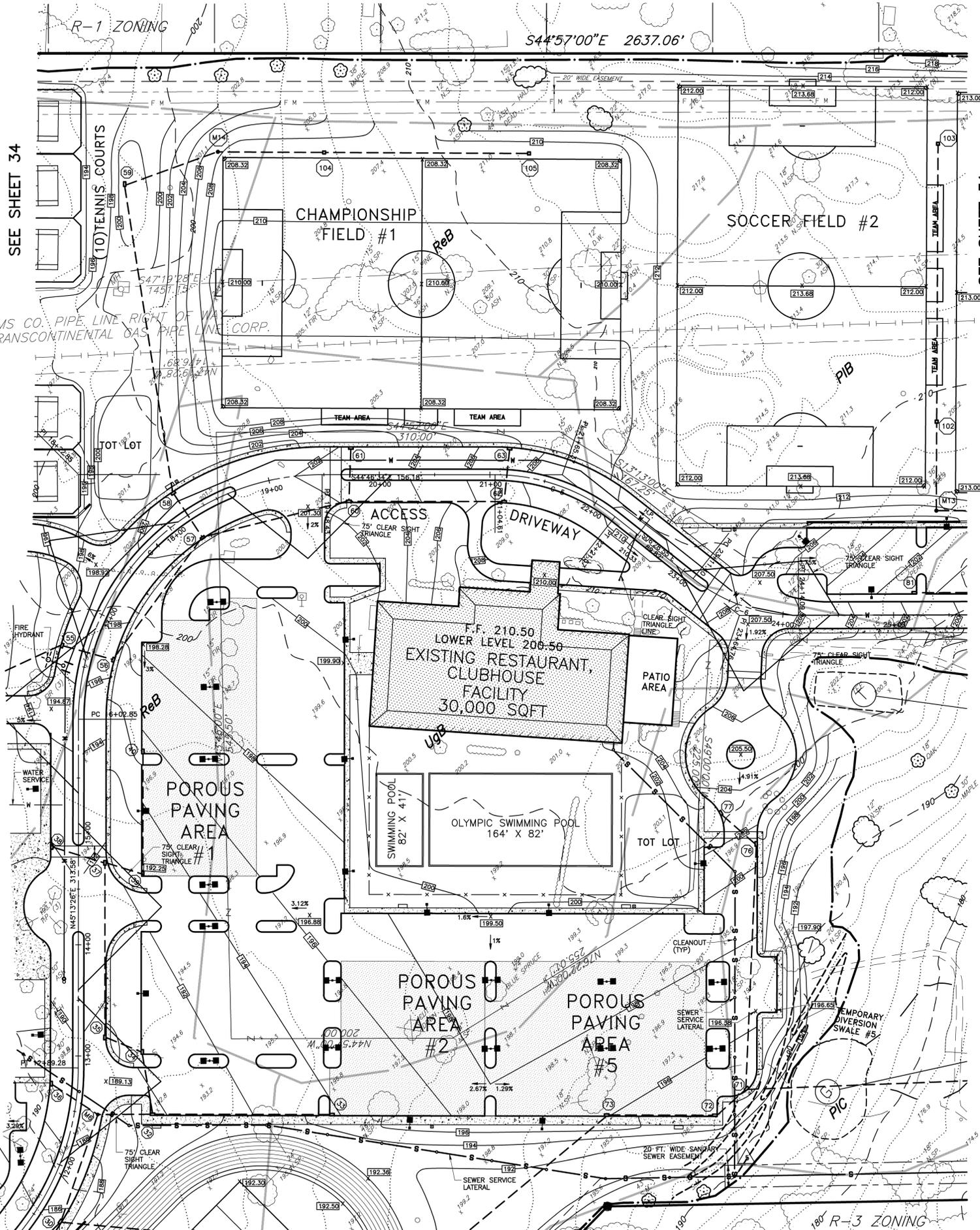
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 LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 PIB - PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 PIC - PENN-LANDSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 UgB - URBAN LAND, 0 TO 8 PERCENT SLOPES
 Urxb - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
 Uusd - URBAN LAND-UDORTHENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



**PRELIMINARY PLAN
EROSION & SEDIMENTATION
CONTROL PLAN**

LAND DEVELOPMENT PLAN FOR
WESTOVER SPORTING COMPLEX
 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 Dowlin Forge Road
 Exton, Pennsylvania 19341
 Phone (610) 903-0060
 Fax (610) 903-0080

Project- 2769
 Date- 12-23-14
 Scale- 1" = 50'
 Drawn- SLM
 Checked- A.J.B.
 Sheet- 32 OF 63
 Plotted: 2/20/2015 File: F:\2769\FPS\2769-SPORTS-2.pro Ver.- 000



SOILS CLASSIFICATION

LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 LaB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
 PIB - PENN-LANSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 UqB - URBAN LAND, 0 TO 8 PERCENT SLOPES
 Urbx - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
 UuBd - URBAN LAND-UDORTHEIMTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES

- CONSTRUCTION SEQUENCE**
1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INWRITE ALL APPROPRIATE MUNICIPAL OFFICIALS, CCCD STAFF AND THE PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.
 2. FLAG THE LIMITS OF DISTURBANCE.
 3. INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE.
 4. INSTALL SILT FENCE AT THE LOCATIONS SHOWN.
 5. BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
 6. STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE CONSTRUCTION. TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 35 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
 7. PERFORM CONSTRUCTION OF DETENTION BASINS AND MAKE OPERATIONAL AS SEDIMENT BASINS. THE BASINS MUST BE INSTALLED, STABILIZED, AND PROPERLY FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITY. SEED AND MULCH SEDIMENT BASINS AND SURROUNDING AREA WITH TEMPORARY SEED MIX AND MULCH IMMEDIATELY UPON COMPLETION OF GRADING. UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER RISER IS INSTALLED AND SEALED, PER PLAN. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
 8. CONSTRUCT TEMPORARY DIVERSION SWALES #1-#5. LINE WITH EROSION CONTROL BLANKET AND MAKE OPERATIONAL. NOTE: SWALES MUST BE MAINTAINED TO CONVEY FLOW DURING ENTIRE SITE DEVELOPMENT.
 9. FINISH CLEARING AND GRUBBING THE SITE AND STOCKPILE THE TOPSOIL.
 10. PERFORM EARTHMOVING TO ESTABLISH ROUGH SUBGRADE FOR ACCESS ROADS, PARKING AREAS, BUILDING SLABS AND FIELDS.
 11. INSTALL STORM SEWER CONVEYANCE SYSTEM. INSTALL INLET PROTECTION WHERE NOTED.
 12. INSTALL SANITARY SEWER CONVEYANCE SYSTEM AND WATER MAIN EXTENSION. INSTALL OTHER UTILITIES REQUIRED TO SERVICE THE SITE.
 13. BEGIN CURB INSTALLATION.
 14. INSTALL ROCK CHECK BERM AT ENTRANCE TO ROAD A LONG PORT INDIAN ROAD.
 15. BEGIN BUILDING CONSTRUCTION.
 16. PERFORM BASE COURSE INSTALLATION IN THE PARKING AREA.
 17. INSTALL SIDEWALK WHEN BUILDING CONSTRUCTION (EXTERIOR) IS NEAR COMPLETION.
 18. INSTALL LANDSCAPING.
 19. STABILIZE DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
 20. MCD STAFF TO INSPECT SITE TO VERIFY IF SITE IS STABILIZED. REMOVE E&S CONTROLS, CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
 21. PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

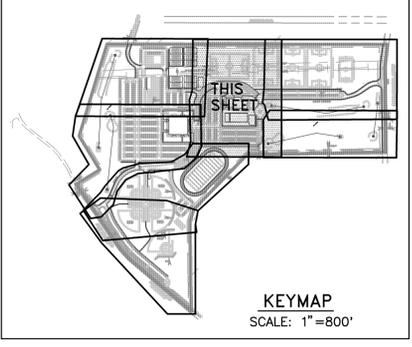
- NOTES:**
1. DURING CONSTRUCTION A WATER TRUCK AND OR OTHER MEASURE MUST BE PROVIDED TO PREVENT DUST FROM GOING ON TO ADJACENT PROPERTIES.
 2. THE SOILS FOUND ON THE SITE MAY EXHIBIT A HIGH WATER TABLE WITH IT BEING WITHIN 1 FOOT OF THE SURFACE. ANY WATER THAT IS ENCOUNTERED DURING CONSTRUCTION MUST BE PUMPED TO AN APPROVED DEWATERING FACILITY.

EROSION & SEDIMENTATION CONTROL LEGEND

	SEDIMENT BASIN DRAINAGE AREA BOUNDARY
	LIMIT OF DISTURBANCE
	TEMPORARY GRADING
	18" SILT FENCE
	30" SILT FENCE
	SUPER SILT FENCE
	INLET PROTECTION
	TOPSOIL STOCKPILE
	SEDIMENT TRAP
	SEDIMENT BASIN
	TEMPORARY RISER
	ROCK FILTER
	ROCK CONSTR. ENTRANCE

LEGEND

	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	EXISTING INLET
	PROPOSED INLET
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER PIPE
	EXISTING ELECTRIC LINE
	PROPOSED ELECTRIC LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	GAS PIPELINE
	SOILS LINE
	EXISTING CURB
	PROPOSED CURB
	LIGHT POLE & FIXTURE
	PROPOSED SPOT ELEVATION
	EXISTING SIGN
	PROPOSED SIGN
	WATER METER
	WATER VALVE
	EXISTING D-W ENDWALL
	PROPOSED D-W ENDWALL
	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	TREE TO BE SAVED



SEE SHEET 34

SEE SHEET 31

SEE SHEET 35

SEE SHEET 32

SEE SHEET 36



PRELIMINARY PLAN EROSION & SEDIMENTATION CONTROL PLAN

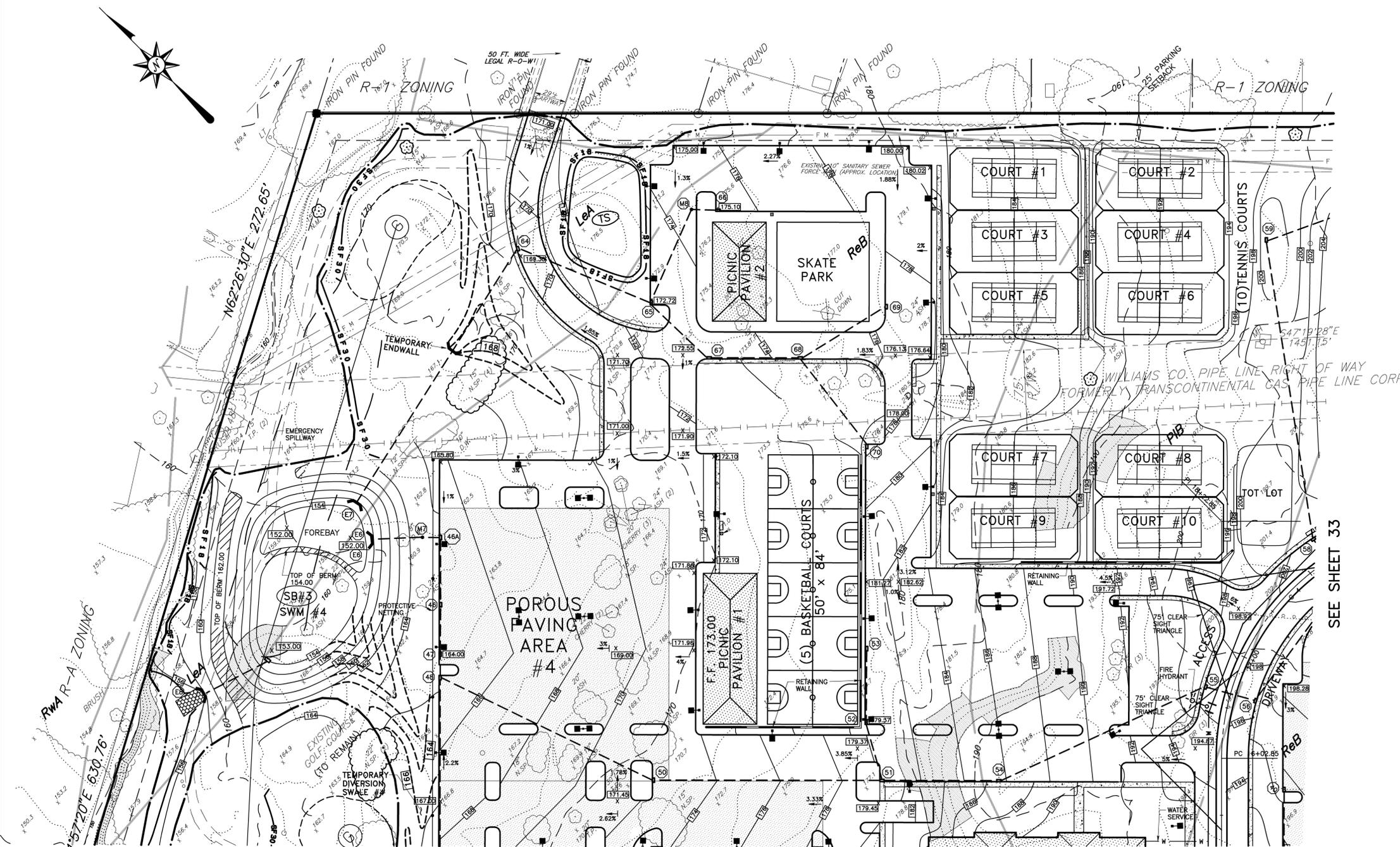
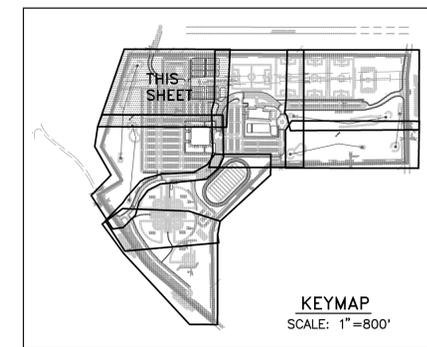
LAND DEVELOPMENT PLAN
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EROSION & SEDIMENTATION CONTROL LEGEND

	SEDIMENT BASIN DRAINAGE
	AREA BOUNDARY
	LIMIT OF DISTURBANCE
	TEMPORARY GRADING
	18" SILT FENCE
	30" SILT FENCE
	SUPER SILT FENCE
	INLET PROTECTION
	TOPSOIL STOCKPILE
	SEDIMENT TRAP
	SEDIMENT BASIN
	TEMPORARY RISER
	ROCK FILTER
	ROCK CONSTR. ENTRANCE

LEGEND

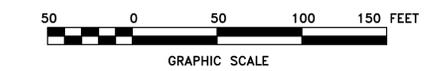
	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	EXISTING INLET
	PROPOSED INLET
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED MONUMENT
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER PIPE
	EXISTING ELECTRIC LINE
	PROPOSED ELECTRIC LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	GAS PIPELINE
	SOILS LINE
	EXISTING CURB
	PROPOSED CURB
	LIGHT POLE & FIXTURE
	PROPOSED SPOT ELEVATION
	EXISTING SIGN
	PROPOSED SIGN
	WATER METER
	WATER VALVE
	EXISTING D-W ENDWALL
	PROPOSED D-W ENDWALL
	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	TREE TO BE SAVED

SOILS CLASSIFICATION

LeA	- LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
LeB	- LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
PIB	- PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
PIC	- PENN-LANDSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
ReA	- READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
ReB	- READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
UgB	- URBAN LAND, 0 TO 8 PERCENT SLOPES
Urx	- URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
UusD	- URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES

- CONSTRUCTION SEQUENCE**
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 - FLAG THE LIMITS OF DISTURBANCE.
 - INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCE AT THE LOCATIONS SHOWN.
 - BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
 - STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE CONSTRUCTION. TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 35 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
 - PERFORM CONSTRUCTION OF DETENTION BASINS AND MAKE OPERATIONAL AS SEDIMENT BASINS. THE BASINS MUST BE INSTALLED, STABILIZED, AND PROPERLY FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITY. SEED AND MULCH SEDIMENT BASINS AND SURROUNDING AREA WITH TEMPORARY SEED MIX AND MULCH IMMEDIATELY UPON COMPLETION OF GRADING. UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS INSTALLED AND SEALED. PER PLAN, SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
 - CONSTRUCT TEMPORARY DIVERSION SWALES #1-#5. LINE WITH EROSION CONTROL BLANKET AND MAKE OPERATIONAL. NOTE: SWALES MUST BE MAINTAINED TO CONVEY FLOW DURING ENTIRE SITE DEVELOPMENT.
 - FINISH CLEARING AND GRUBBING THE SITE AND STOCKPILE THE TOPSOIL.
 - PERFORM EARTHMOVING TO ESTABLISH ROUGH SUBGRADE FOR ACCESS ROADS, PARKING AREAS, BUILDING SLABS AND FIELDS.
 - INSTALL STORM SEWER CONVEYANCE SYSTEM. INSTALL INLET PROTECTION WHERE NOTED.
 - INSTALL SANITARY SEWER CONVEYANCE SYSTEM AND WATER MAIN EXTENSION. INSTALL OTHER UTILITIES REQUIRED TO SERVICE THE SITE.
 - BEGIN CURB INSTALLATION.
 - INSTALL ROCK CHECK BERM AT ENTRANCE TO ROAD ALONG PORT INDIAN ROAD.
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 - INSTALL SIDEWALK WHEN BUILDING CONSTRUCTION (EXTERIOR) IS NEAR COMPLETION.
 - INSTALL LANDSCAPING.
 - STABILIZE DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
 - MCCD STAFF TO INSPECT SITE TO VERIFY IF SITE IS STABILIZED. REMOVE E&S CONTROLS. CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
 - PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

- NOTES:**
- DURING CONSTRUCTION A WATER TRUCK AND OR OTHER MEASURE MUST BE PROVIDED TO PREVENT DUST FROM GOING ON TO ADJACENT PROPERTIES.
 - THE SOILS FOUND ON THE SITE MAY EXHIBIT A HIGH WATER TABLE WITH IT BEING WITHIN 1 FOOT OF THE SURFACE. ANY WATER THAT IS ENCOUNTERED DURING CONSTRUCTION MUST BE PUMPED TO AN APPROVED DEWATERING FACILITY.



SEE SHEET 33

SEE SHEET 35

**PRELIMINARY PLAN
EROSION & SEDIMENTATION
CONTROL PLAN**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

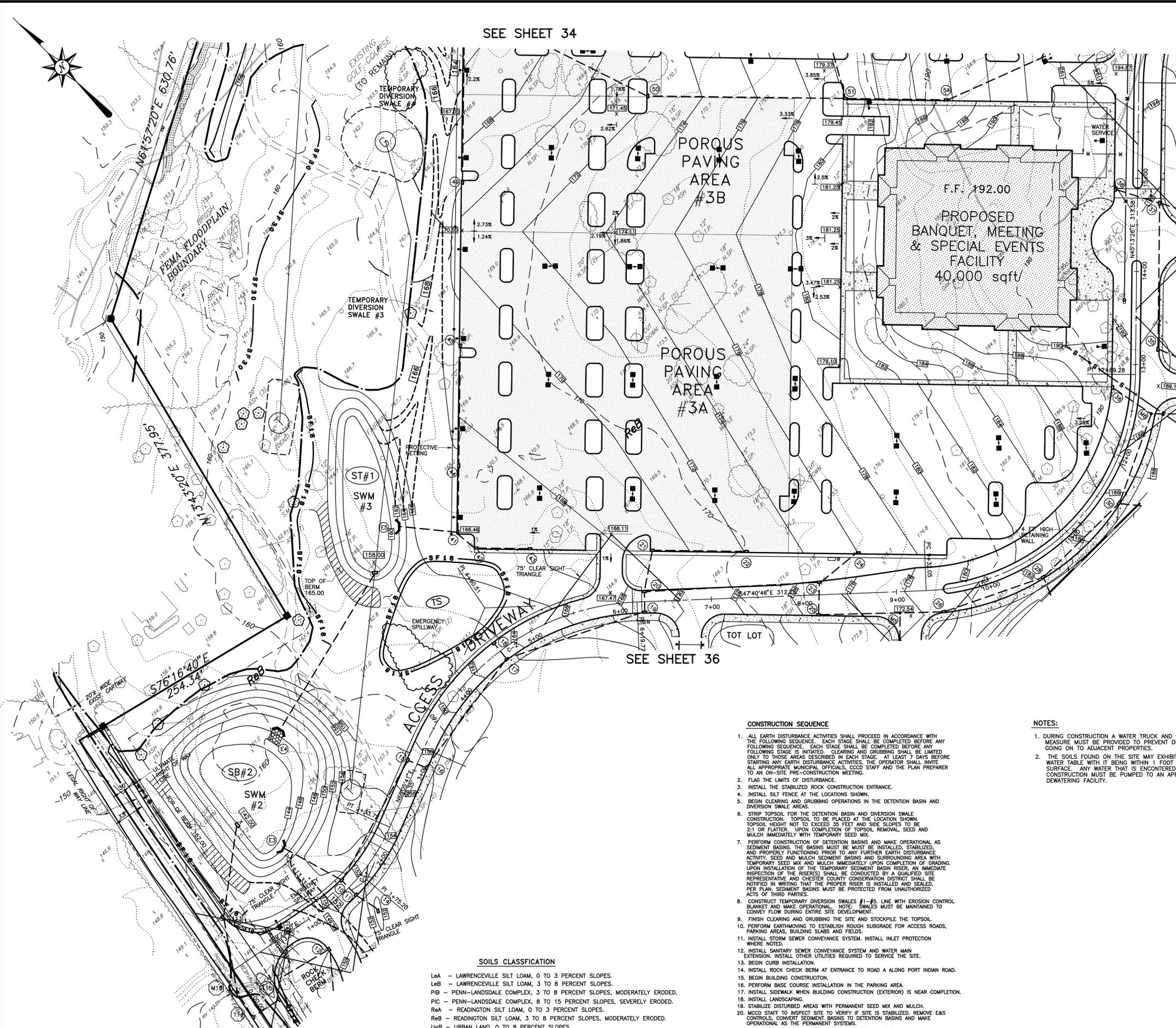
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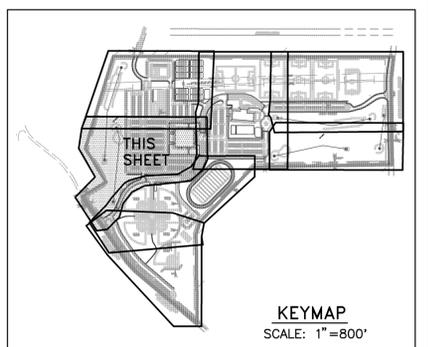
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SEE SHEET 34

SEE SHEET 33

SEE SHEET 36



EROSION & SEDIMENTATION CONTROL LEGEND

	SEDIMENT BASIN DRAINAGE AREA BOUNDARY
	LIMIT OF DISTURBANCE
	TEMPORARY GRADING
	18" SILT FENCE
	30" SILT FENCE
	SUPER SILT FENCE
	INLET PROTECTION
	TOPSOIL STOCKPILE
	SEDIMENT TRAP
	SEDIMENT BASIN
	TEMPORARY RISER
	ROCK FILTER
	ROCK CONSTR. ENTRANCE

LEGEND

	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	EXISTING INLET
	PROPOSED INLET
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY SEWER PIPE
	PROPOSED SANITARY SEWER PIPE
	EXISTING ELECTRIC LINE
	PROPOSED ELECTRIC LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	GAS PIPELINE
	SOILS LINE
	EXISTING CURB
	PROPOSED CURB
	LIGHT POLE & FIXTURE
	PROPOSED SPOT ELEVATION
	EXISTING SIGN
	PROPOSED SIGN
	WATER METER
	WATER VALVE
	EXISTING D-W ENDWALL
	PROPOSED D-W ENDWALL
	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	TREE TO BE SAVED

CONSTRUCTION SEQUENCE

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY ALL APPROPRIATE MUNICIPAL OFFICIALS, OCCD STAFF AND THE PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. FLAG THE LIMITS OF DISTURBANCE.
3. INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE.
4. INSTALL SILT FENCE AT THE LOCATIONS SHOWN.
5. BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
6. STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE. CONSTRUCTION TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 35 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
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16. PERFORM BASE COURSE INSTALLATION IN THE PARKING AREA.
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18. INSTALL LANDSCAPE.
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20. OCCD STAFF TO INSPECT SITE TO VERIFY IF SITE IS STABILIZED. REMOVE E&S CONTROLS, CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
21. PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

NOTES:

1. DURING CONSTRUCTION A WATER TRUCK AND OR OTHER MEASURE MUST BE PROVIDED TO PREVENT DUST FROM GOING ON TO ADJACENT PROPERTIES.
2. THE SOILS FOUND ON THE SITE MAY EXHIBIT A HIGH WATER TABLE WITH IT BEING WITHIN 1 FOOT OF THE SURFACE. ANY WATER THAT IS ENCOUNTERED DURING CONSTRUCTION MUST BE PUMPED TO AN APPROVED DEWATERING FACILITY.

SOILS CLASSIFICATION

- LoA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
- LoB - LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- PIB - PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
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- UrxB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
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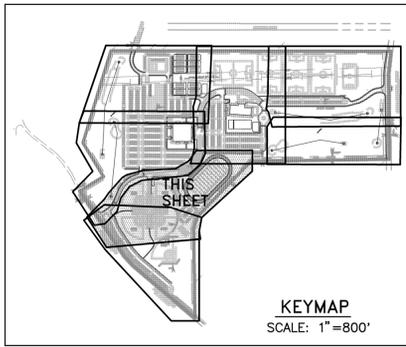
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Edward B. Walsh & Associates, Inc. **Project- 2769**
CIVIL ENGINEERS & SURVEYORS **Date- 12-23-14**

LIONVILLE PROFESSIONAL CENTER **Scale- 1"= 50'**
125 Dowlin Forge Road **Drawn- SLM**
Eaton, Pennsylvania 19341 **Checked- A.J.B.**
Phone (610) 903-0060 **Sheet- 35 OF 63**
Fax (610) 903-0080 **Ver- 000**

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 5. BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
 6. STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE CONSTRUCTION. TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 36 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
 7. PERFORM CONSTRUCTION OF DETENTION BASINS AND MAKE OPERATIONAL AS SEDIMENT BASINS. THE BASINS MUST BE INSTALLED, STABILIZED AND PROPERLY FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITY. SEED AND MULCH SEDIMENT BASINS AND SURROUNDING AREA WITH TEMPORARY SEED MIX AND MULCH IMMEDIATELY UPON COMPLETION OF GRADING. UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER RISER IS INSTALLED AND SEALED. PER PLAN, SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
 8. CONSTRUCT TEMPORARY DIVERSION SWALES #1-#5. LINE WITH EROSION CONTROL BLANKET AND MAKE OPERATIONAL. NOTE: SWALES MUST BE MAINTAINED TO CONVEY FLOW DURING ENTIRE SITE DEVELOPMENT.
 9. FINISH CLEARING AND GRUBBING THE SITE AND STOCKPILE THE TOPSOIL.
 10. PERFORM EARTHMOVING TO ESTABLISH ROUGH SUBGRADE FOR ACCESS ROADS, PARKING AREAS, BUILDING SLABS AND FIELDS.
 11. INSTALL STORM SEWER CONVEYANCE SYSTEM. INSTALL INLET PROTECTION WHERE NOTED.
 12. INSTALL SANITARY SEWER CONVEYANCE SYSTEM AND WATER MAIN EXTENSION. INSTALL OTHER UTILITIES REQUIRED TO SERVICE THE SITE.
 13. BEGIN CURB INSTALLATION.
 14. INSTALL ROCK CHECK BERM AT ENTRANCE TO ROAD ALONG PORT INDIAN ROAD.
 15. BEGIN BUILDING CONSTRUCTION.
 16. PERFORM BASE COURSE INSTALLATION IN THE PARKING AREA.

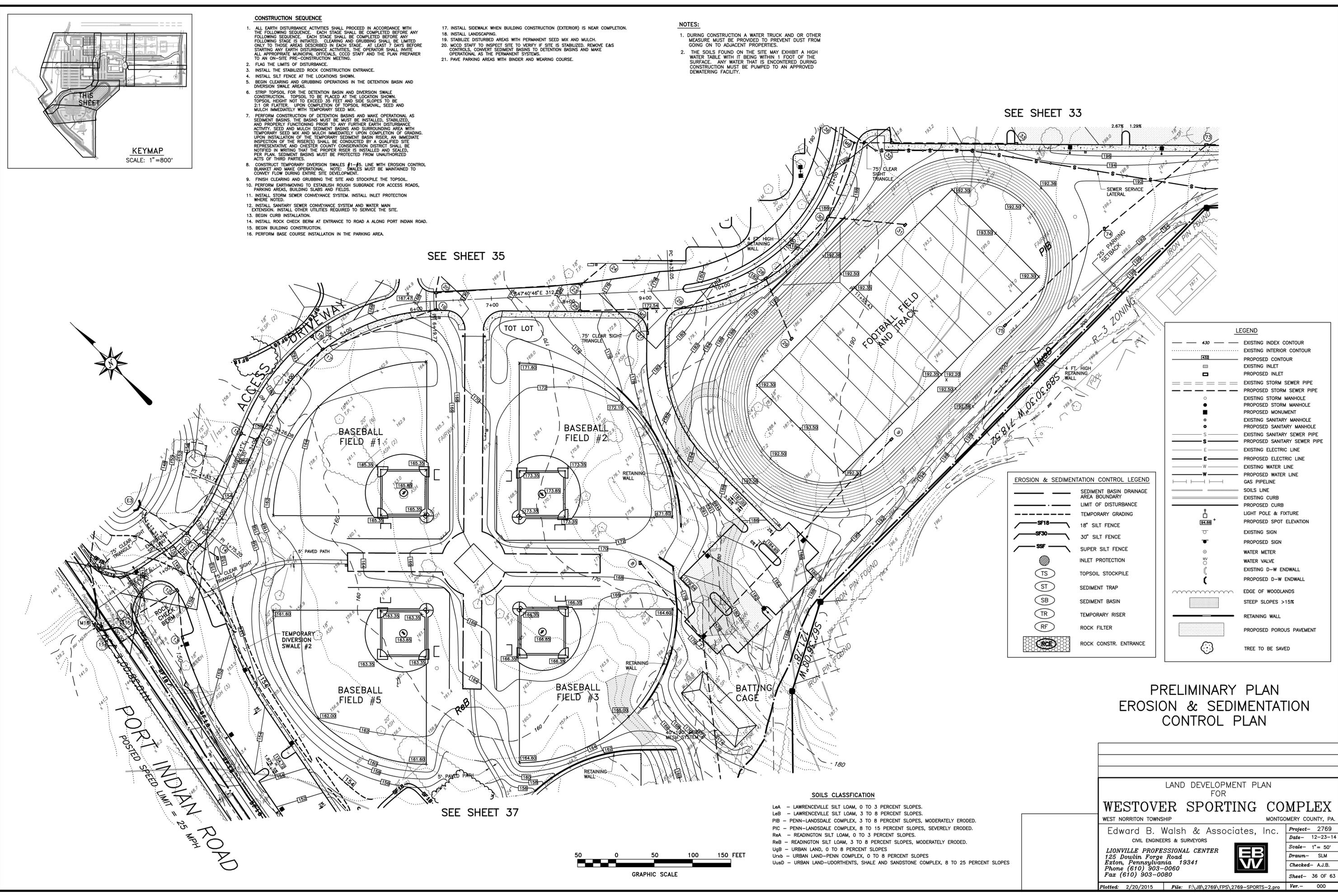
17. INSTALL SIDEWALK WHEN BUILDING CONSTRUCTION (EXTERIOR) IS NEAR COMPLETION.
18. INSTALL LANDSCAPING.
19. STABILIZE DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
20. OCCD STAFF TO INSPECT SITE TO VERIFY IF SITE IS STABILIZED. REMOVE E&S CONTROLS, CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
21. PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

- NOTES:**
1. DURING CONSTRUCTION A WATER TRUCK AND OR OTHER MEASURE MUST BE PROVIDED TO PREVENT DUST FROM GOING ON TO ADJACENT PROPERTIES.
 2. THE SOILS FOUND ON THE SITE MAY EXHIBIT A HIGH WATER TABLE WITH IT BEING WITHIN 1 FOOT OF THE SURFACE. ANY WATER THAT IS ENCOUNTERED DURING CONSTRUCTION MUST BE PUMPED TO AN APPROVED DOWELING FACILITY.

SEE SHEET 33

SEE SHEET 35

SEE SHEET 37



LEGEND

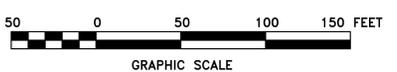
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---	---	EXISTING INTERIOR CONTOUR
---	---	PROPOSED CONTOUR
---	---	EXISTING INLET
---	---	PROPOSED INLET
---	---	EXISTING STORM SEWER PIPE
---	---	PROPOSED STORM SEWER PIPE
---	---	EXISTING STORM MANHOLE
---	---	PROPOSED STORM MANHOLE
---	---	PROPOSED MONUMENT
---	---	EXISTING SANITARY MANHOLE
---	---	PROPOSED SANITARY MANHOLE
---	---	EXISTING SANITARY SEWER PIPE
---	---	PROPOSED SANITARY SEWER PIPE
---	---	EXISTING ELECTRIC LINE
---	---	PROPOSED ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	PROPOSED WATER LINE
---	---	GAS PIPELINE
---	---	SOILS LINE
---	---	EXISTING CURB
---	---	PROPOSED CURB
---	---	LIGHT POLE & FIXTURE
---	---	PROPOSED SPOT ELEVATION
---	---	EXISTING SIGN
---	---	PROPOSED SIGN
---	---	WATER METER
---	---	WATER VALVE
---	---	EXISTING D-W ENDWALL
---	---	PROPOSED D-W ENDWALL
---	---	EDGE OF WOODLANDS
---	---	STEEP SLOPES >15%
---	---	RETAINING WALL
---	---	PROPOSED POROUS PAVEMENT
---	---	TREE TO BE SAVED

EROSION & SEDIMENTATION CONTROL LEGEND

---	SEDIMENT BASIN DRAINAGE AREA BOUNDARY
---	LIMIT OF DISTURBANCE
---	TEMPORARY GRADING
---	SF18 18" SILT FENCE
---	SF30 30" SILT FENCE
---	SSF SUPER SILT FENCE
---	INLET PROTECTION
---	TOPSOIL STOCKPILE
---	SEDIMENT TRAP
---	SEDIMENT BASIN
---	TEMPORARY RISER
---	ROCK FILTER
---	ROCK CONSTR. ENTRANCE

SOILS CLASSIFICATION

LaA	- LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
LaB	- LAWRENCEVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
PIB	- PENN-LANDSDALE COMPLEX, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
PIC	- PENN-LANDSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
ReA	- READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
ReB	- READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
UqB	- URBAN LAND, 0 TO 8 PERCENT SLOPES
Urx	- URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
UusD	- URBAN LAND-UDORTHENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



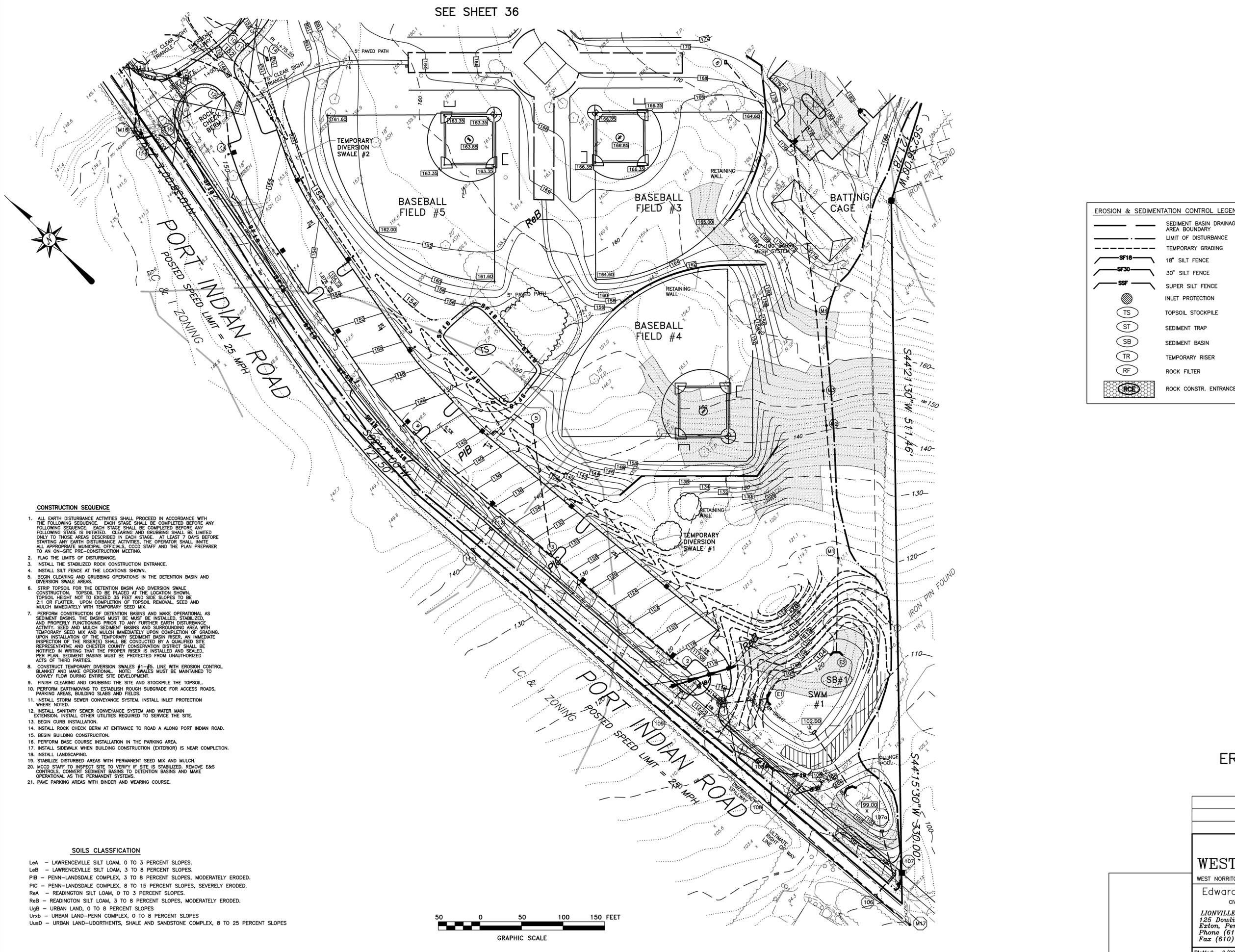
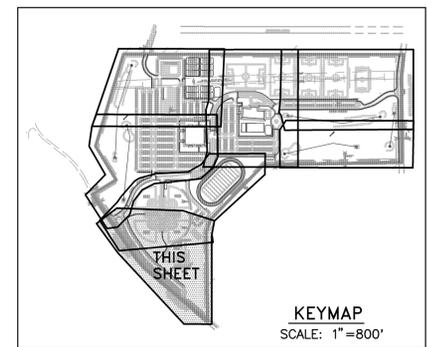
**PRELIMINARY PLAN
EROSION & SEDIMENTATION
CONTROL PLAN**

LAND DEVELOPMENT PLAN FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- 1" = 50'
Drawn- SLM
Checked- A.J.B.
Sheet- 36 OF 63
Ver- 000

Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.prc



EROSION & SEDIMENTATION CONTROL LEGEND

	SEDIMENT BASIN DRAINAGE
	AREA BOUNDARY
	LIMIT OF DISTURBANCE
	TEMPORARY GRADING
	18" SILT FENCE
	30" SILT FENCE
	SUPER SILT FENCE
	INLET PROTECTION
	TOPSOIL STOCKPILE
	SEDIMENT TRAP
	SEDIMENT BASIN
	TEMPORARY RISER
	ROCK FILTER
	ROCK CONSTR. ENTRANCE

LEGEND

	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	EXISTING INLET
	PROPOSED INLET
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING STORM MANHOLE
	PROPOSED STORM MANHOLE
	EXISTING SANITARY MANHOLE
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	WATER METER
	WATER VALVE
	EXISTING D-W ENDWALL
	PROPOSED D-W ENDWALL
	EDGE OF WOODLANDS
	STEEP SLOPES >15%
	RETAINING WALL
	PROPOSED POROUS PAVEMENT
	TREE TO BE SAVED

CONSTRUCTION SEQUENCE

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL NOTIFY ALL APPROPRIATE MUNICIPAL OFFICIALS, COOD STAFF AND THE PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. FLAG THE LIMITS OF DISTURBANCE.
3. INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE.
4. INSTALL SILT FENCE AT THE LOCATIONS SHOWN.
5. BEGIN CLEARING AND GRUBBING OPERATIONS IN THE DETENTION BASIN AND DIVERSION SWALE AREAS.
6. STRIP TOPSOIL FOR THE DETENTION BASIN AND DIVERSION SWALE CONSTRUCTION. TOPSOIL TO BE PLACED AT THE LOCATION SHOWN. TOPSOIL HEIGHT NOT TO EXCEED 35 FEET AND SIDE SLOPES TO BE 2:1 OR FLATTER. UPON COMPLETION OF TOPSOIL REMOVAL, SEED AND MULCH IMMEDIATELY WITH TEMPORARY SEED MIX.
7. PERFORM CONSTRUCTION OF DETENTION BASINS AND MAKE OPERATIONAL AS SEDIMENT BASINS. THE BASINS MUST BE INSTALLED, STABILIZED, AND PROPERLY FUNCTIONING PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITY. SEED AND MULCH SEDIMENT BASINS AND SURROUNDING AREA WITH TEMPORARY SEED MIX AND MULCH IMMEDIATELY UPON COMPLETION OF GRADING. UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISERS SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND CHESTER COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER RISER IS INSTALLED AND SEALED. PER PLAN, SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
8. CONSTRUCT TEMPORARY DIVERSION SWALES #1-#5. LINE WITH EROSION CONTROL BLANKET AND MAKE OPERATIONAL. NOTE: SWALES MUST BE MAINTAINED TO CONVEY FLOW DURING ENTIRE SITE DEVELOPMENT.
9. FINISH CLEARING AND GRUBBING THE SITE AND STOCKPILE THE TOPSOIL.
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13. BEGIN CURB INSTALLATION.
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15. BEGIN BUILDING CONSTRUCTION.
16. PERFORM BASE COURSE INSTALLATION IN THE PARKING AREA.
17. INSTALL SIDEWALK WHEN BUILDING CONSTRUCTION (EXTERIOR) IS NEAR COMPLETION.
18. INSTALL LANDSCAPING.
19. STABILIZE DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
20. MOOD STAFF TO INSPECT SITE TO VERIFY IF SITE IS STABILIZED. REMOVE E&S CONTROLS; CONVERT SEDIMENT BASINS TO DETENTION BASINS AND MAKE OPERATIONAL AS THE PERMANENT SYSTEMS.
21. PAVE PARKING AREAS WITH BINDER AND WEARING COURSE.

SOILS CLASSIFICATION

- LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
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- PIC - PENN-LANSDALE COMPLEX, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
- ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
- ReB - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
- UgB - URBAN LAND, 0 TO 8 PERCENT SLOPES
- UrxB - URBAN LAND-PENN COMPLEX, 0 TO 8 PERCENT SLOPES
- UusB - URBAN LAND-UDORTMENTS, SHALE AND SANDSTONE COMPLEX, 8 TO 25 PERCENT SLOPES



NOTES:

1. DURING CONSTRUCTION A WATER TRUCK AND OR OTHER MEASURE MUST BE PROVIDED TO PREVENT DUST FROM GOING ON TO ADJACENT PROPERTIES.
2. THE SOILS FOUND ON THE SITE MAY EXHIBIT A HIGH WATER TABLE WITH IT BEING WITHIN 1 FOOT OF THE SURFACE. ANY WATER THAT IS ENCOUNTERED DURING CONSTRUCTION MUST BE PUMPED TO AN APPROVED DEWATERING FACILITY.

**PRELIMINARY PLAN
EROSION & SEDIMENTATION
CONTROL PLAN**

LAND DEVELOPMENT PLAN FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

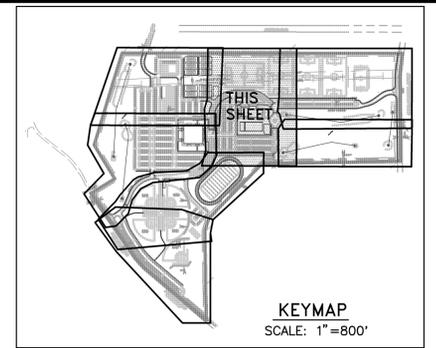
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
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Sheet- 37 OF 63

Plotted: 2/20/2015 File: F:\JWB\2769\FPS\2769-SPORTS-2.pro Ver.- 000

R-1 ZONING

S44°57'00"E 2637.06'



SEE SHEET 40

(10) TENNIS COURTS

CHAMPIONSHIP FIELD #1

SOCCER FIELD #2

SEE SHEET 38

WILLIAMS CO. PIPE LINE RIGHT OF WAY
FORMERLY TRANSCONTINENTAL GAS PIPE LINE CORP.

TOT LOT

LITTER CONTAINER

TEAM AREA

TEAM AREA

ACCESS

DRIVEWAY

LITTER CONTAINER

BENCH

EXISTING RESTAURANT,
CLUBHOUSE
FACILITY
30,000 SQFT

PATIO AREA

SWIMMING POOL
82' X 41'

OLYMPIC SWIMMING POOL
164' X 82'

TOT LOT

LITTER CONTAINER

BENCH

SEE SHEET 41

PT. 12+39.28'

13+00

14+00

15+00

16+00

17+00

18+00

19+00

20+00

21+00

22+00

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25+00

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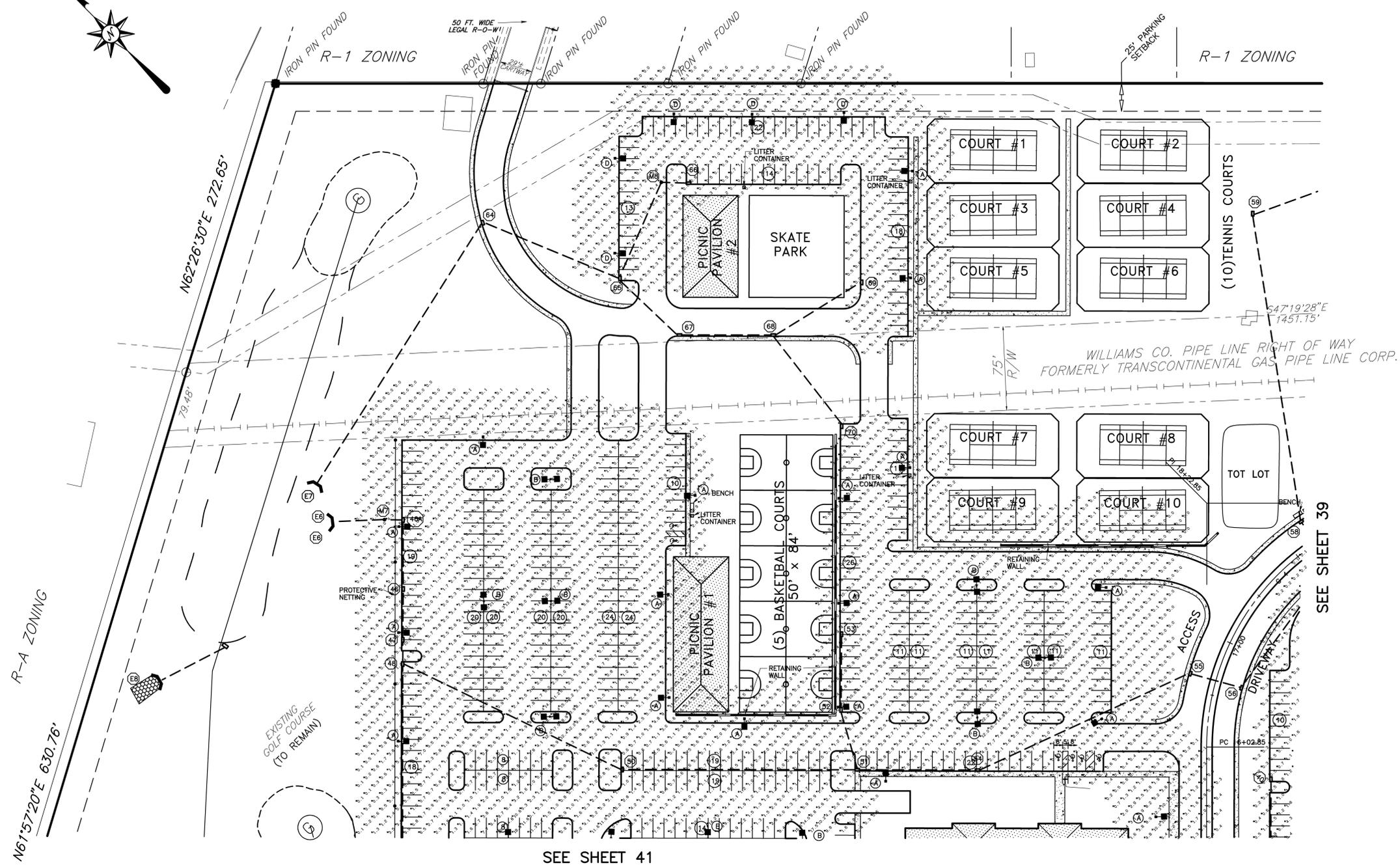
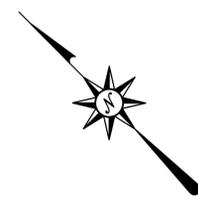
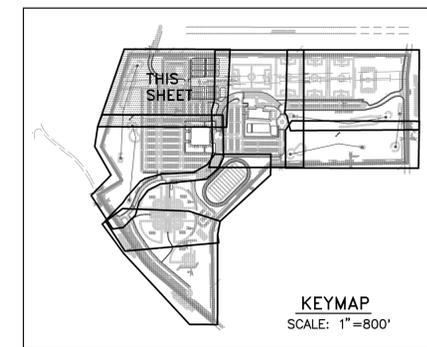
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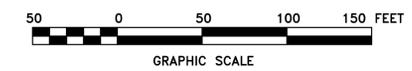


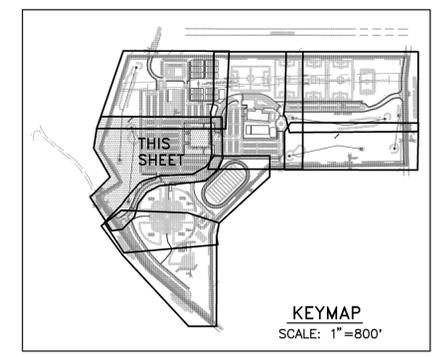
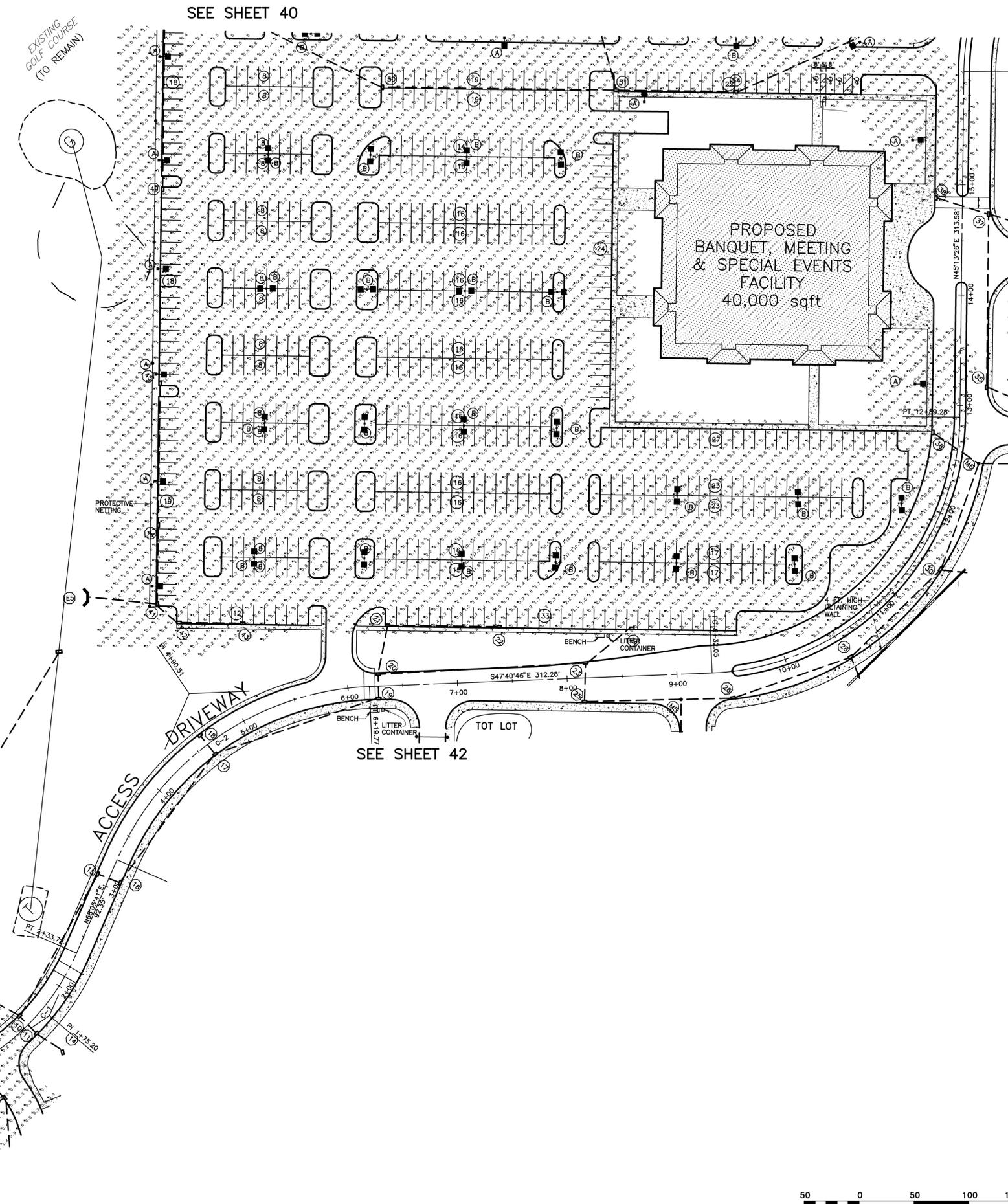
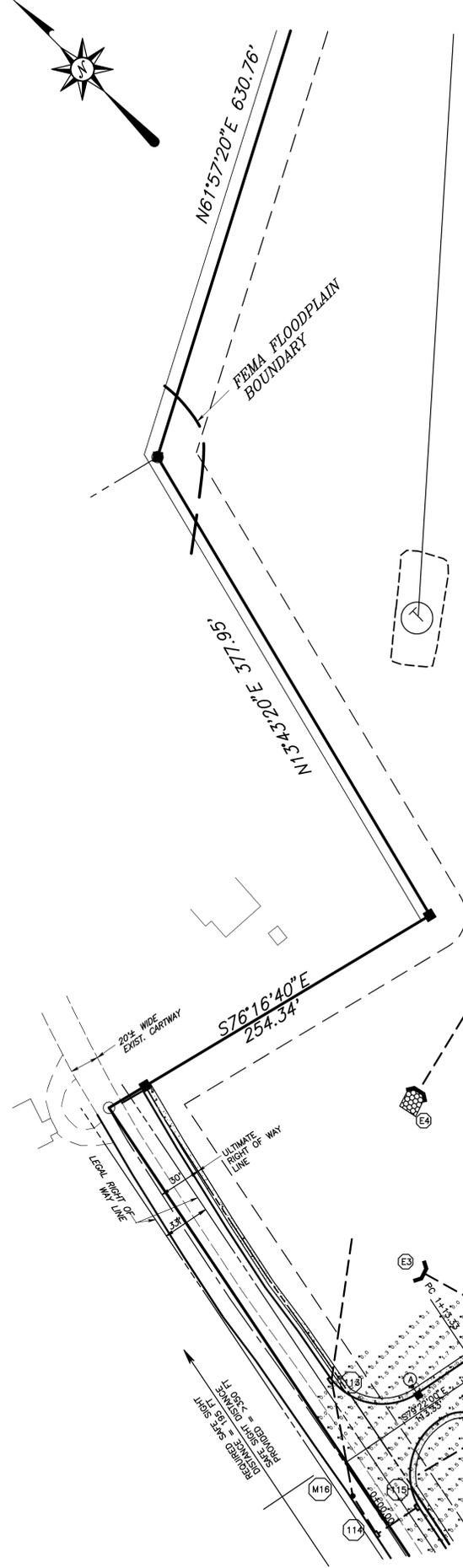
SEE SHEET 41

SEE SHEET 39

PRELIMINARY PLAN
LIGHTING PLAN

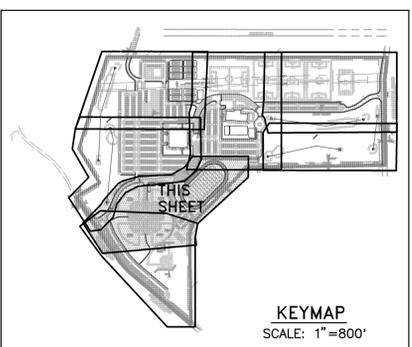
LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX	
WEST NORRITON TOWNSHIP	MONTGOMERY COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	Project- 2769 Date- 12-23-14
LIONVILLE PROFESSIONAL CENTER 125 Dowlin Forge Road Eaton, Pennsylvania 19341 Phone (610) 903-0060 Fax (610) 903-0080	Scale- 1" = 50' Drawn- SLM Checked- A.J.B. Sheet- 40 OF 63
Plotted: 2/20/2015	Ver- 000





PRELIMINARY PLAN LIGHTING PLAN

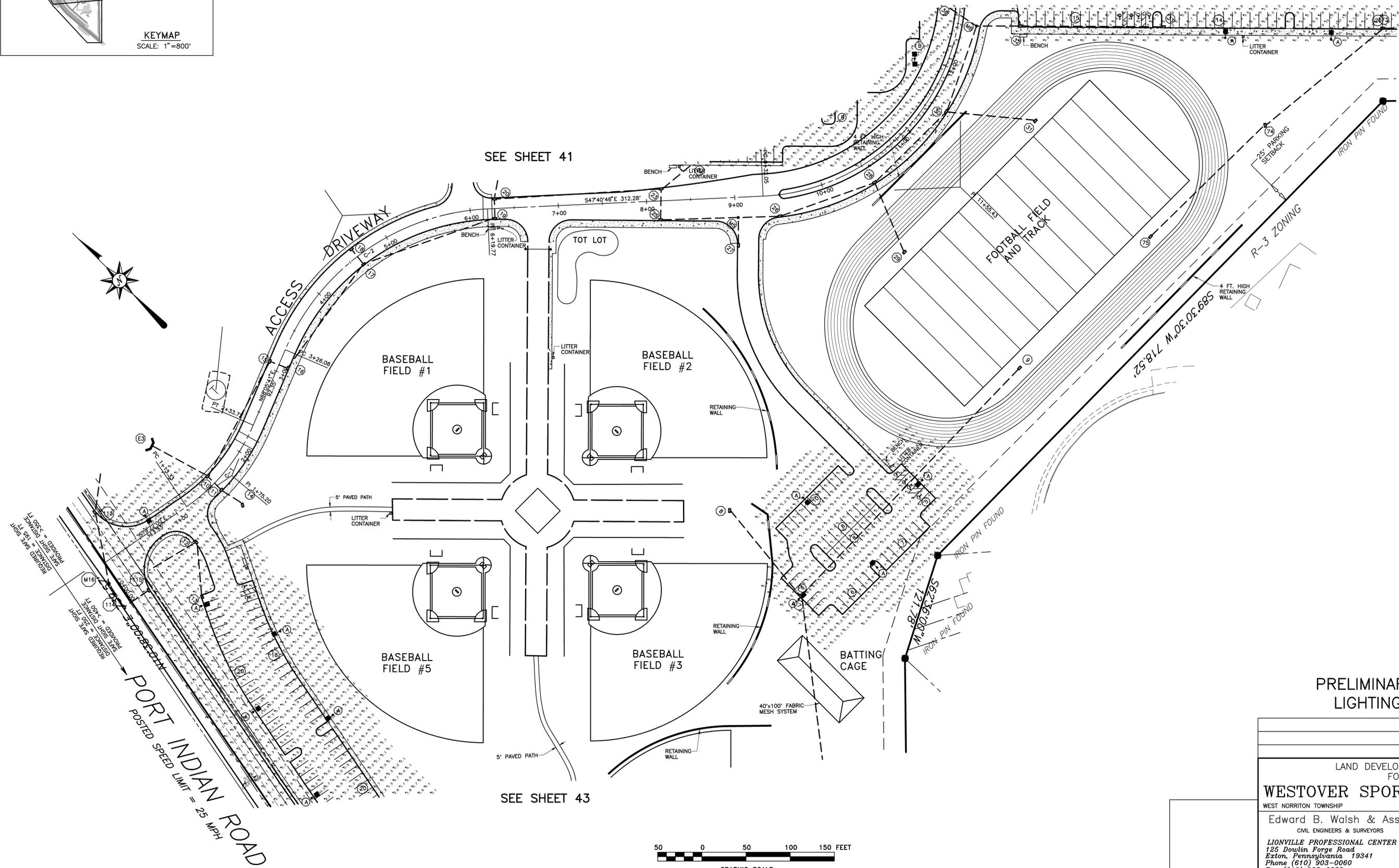
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	Ver.- 000



SEE SHEET 39

SEE SHEET 41

SEE SHEET 43

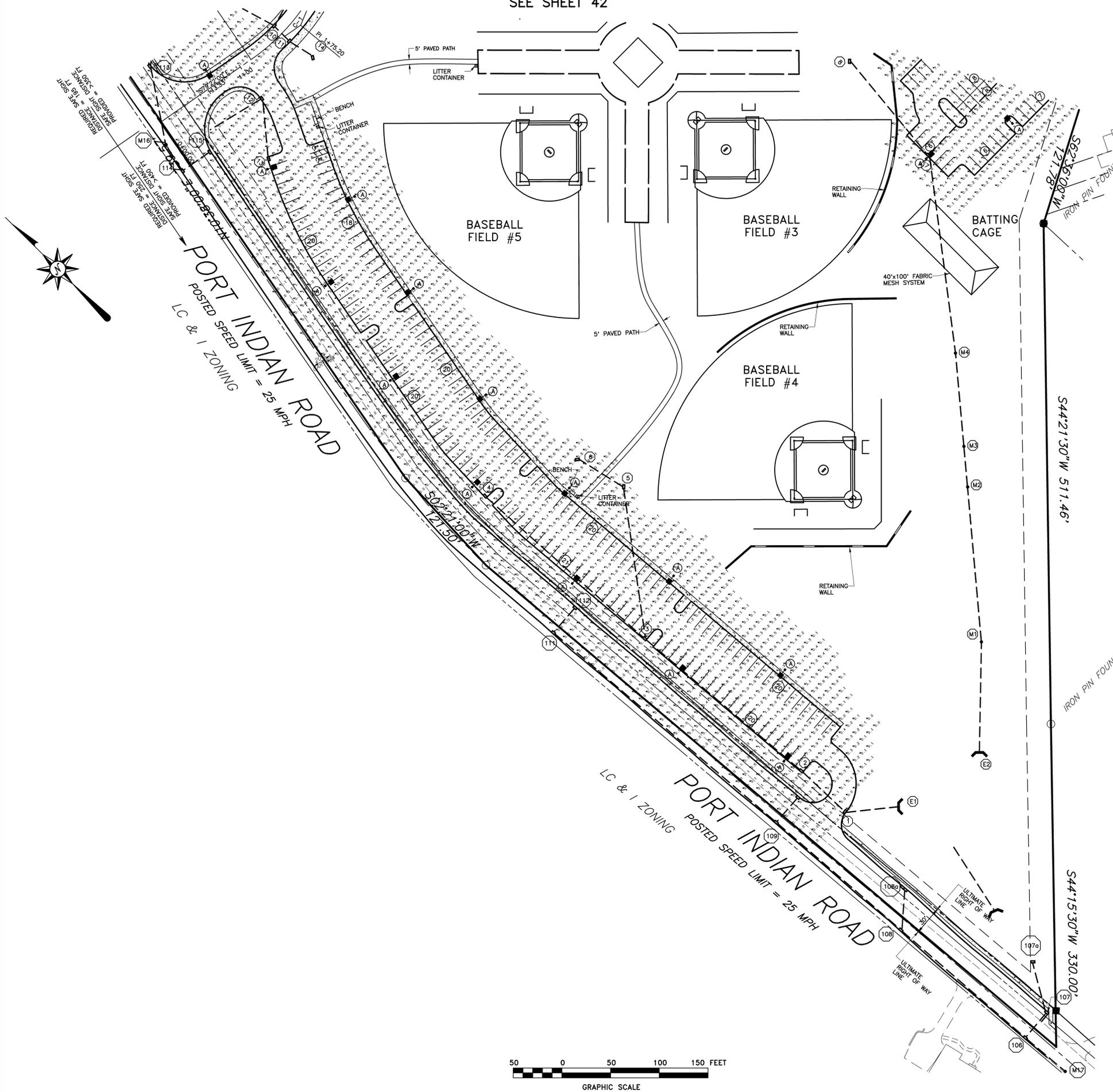
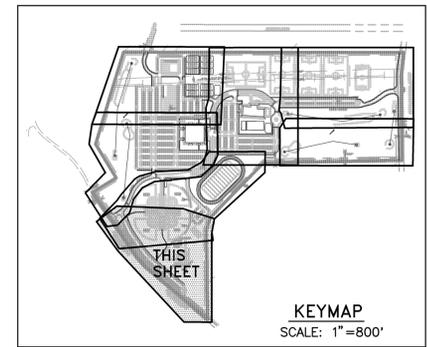


PRELIMINARY PLAN
LIGHTING PLAN

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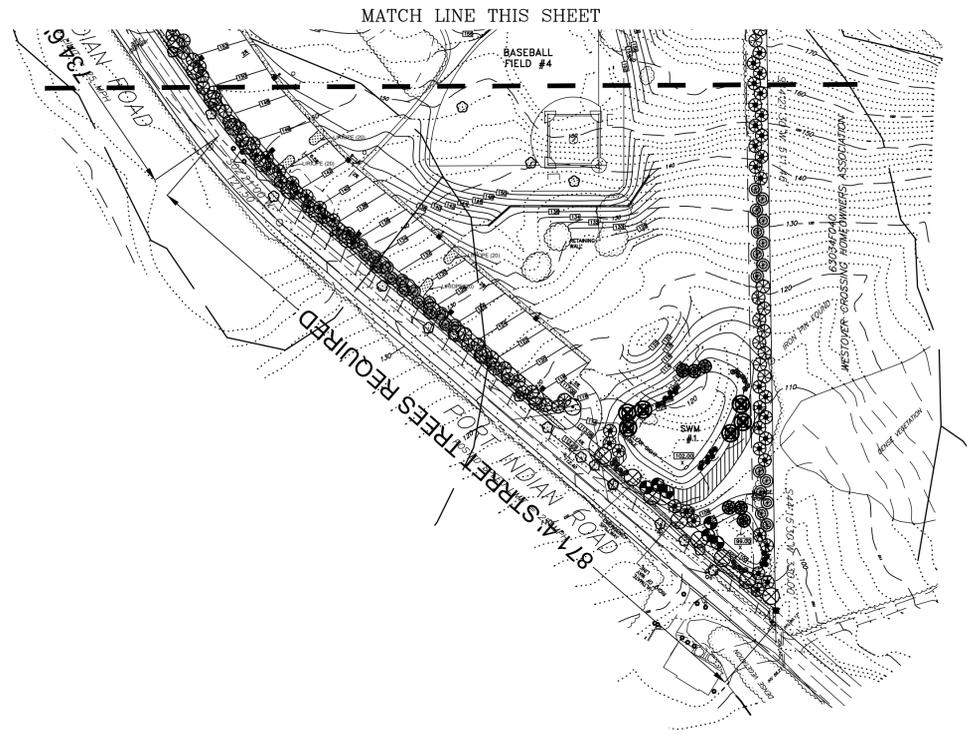


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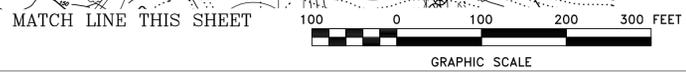


PRELIMINARY PLAN
LIGHTING PLAN

LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX															
WEST NORRITON TOWNSHIP	MONTGOMERY COUNTY, PA.														
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS															
LIONVILLE PROFESSIONAL CENTER 125 Dowlin Forge Road Eaton, Pennsylvania 19341 Phone (610) 903-0060 Fax (610) 903-0080	<table border="1"> <tr><td>Project-</td><td>2769</td></tr> <tr><td>Date-</td><td>12-23-14</td></tr> <tr><td>Scale-</td><td>1" = 50'</td></tr> <tr><td>Drawn-</td><td>SLM</td></tr> <tr><td>Checked-</td><td>A.J.B.</td></tr> <tr><td>Sheet-</td><td>43 OF 63</td></tr> <tr><td>Ver-</td><td>000</td></tr> </table>	Project-	2769	Date-	12-23-14	Scale-	1" = 50'	Drawn-	SLM	Checked-	A.J.B.	Sheet-	43 OF 63	Ver-	000
Project-	2769														
Date-	12-23-14														
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Checked-	A.J.B.														
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Ver-	000														
Plotted: 2/20/2015	File: F:\JB\2769\FPS\2769-SPORTS-2.pro														



NOTES:
 1. THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY.



MATCH LINE SEE SHEET 45

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 ASSOCIATES, INC.
 PLANNERS ■ LANDSCAPE ARCHITECTS
 860 First Avenue • Suite 98 • King of Prussia • PA • 19406
 P:610 357 2100 • F:610 357 3630 • www.orsattistuart.com



LANDSCAPE PLAN
 FOR
WESTOVER SPORTING COMPLEX
 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 Dowlin Forge Road
 Exton, Pennsylvania 19341
 Phone (610) 903-0060
 Fax (610) 903-0080

Project- 2769
 Date- 12-23-14
 Scale- 1"= 100'
 Drawn- PJS
 Checked- PJS
 Sheet- 44 OF 63
 Ver.- 000

Plotted: 12/23/2014 File:





General Notes:

1. All plants shall be of specimen quality.
2. All plants shall conform with the most current version of the "American Standard for Nursery Stock" of the American Association of Nurserymen.
3. All plant material shall be guaranteed for a period of twelve (12) months
4. Location of all underground utilities shall be verified and marked in the field, prior to any digging operations.
5. All trees shall be provided with a 3" deep saucer, consisting of shredded Oak bark mulch. All shrub beds shall be provided with a 3" deep layer of shredded Oak bark mulch.
6. All plants shall be thoroughly watered by the Contractor at least three (3) times (in the absence of natural rainfall), prior to acceptance of planting by the Owner.
7. All trees and shrubs shall be inspected and approved by the Landscape Architect, prior to planting. All plant material shall be laid out in the field by the Landscape Architect prior to installation.

WEST NORRITON TOWNSHIP LANDSCAPE REQUIREMENTS CHART

ZONING

SECTION 1410. REQUIRED OFF-STREET PARKING AND LOADING

J. PARKING REGULATIONS
 (5) A plant strip not less than 25 feet in width shall be provided along each property line which is opposite or adjacent to a Residential or Apartment House District. Such strip shall be planted hedge, evergreens or other suitable shrubbery which shall give an all-year-round screen, so arranged as to minimize noise, glare and dust from all parking facilities.

SUBDIVISION AND LAND DEVELOPMENT

SECTION 515. SHADE TREES

Trees shall be planted not less than 40' apart nor more than 50' apart.
 S. Schuykill Ave. 1,014 LF/ 40' =
 Port Indian Road 1,606 LF/ 40' =

SECTION 505. SIDEWALKS AND CURBS

1.A. Sidewalks shall be provided along all streets.

SECTION 504. ALLEYS, DRIVEWAYS AND PARKING AREAS

4.H. PARKING AREAS
 Buffer planting requirements shall be applicable to parking lot facilities, along the area adjacent to other properties.

SECTION 507. LOT REQUIREMENTS; GRADING; PLANTING

3.F. BUFFER PLANTING REQUIREMENTS
 Such buffers shall include a suitable and uninterrupted coniferous planting screen of sufficient height and density to give max. protection and immediate screening to the abutting district.

WATER

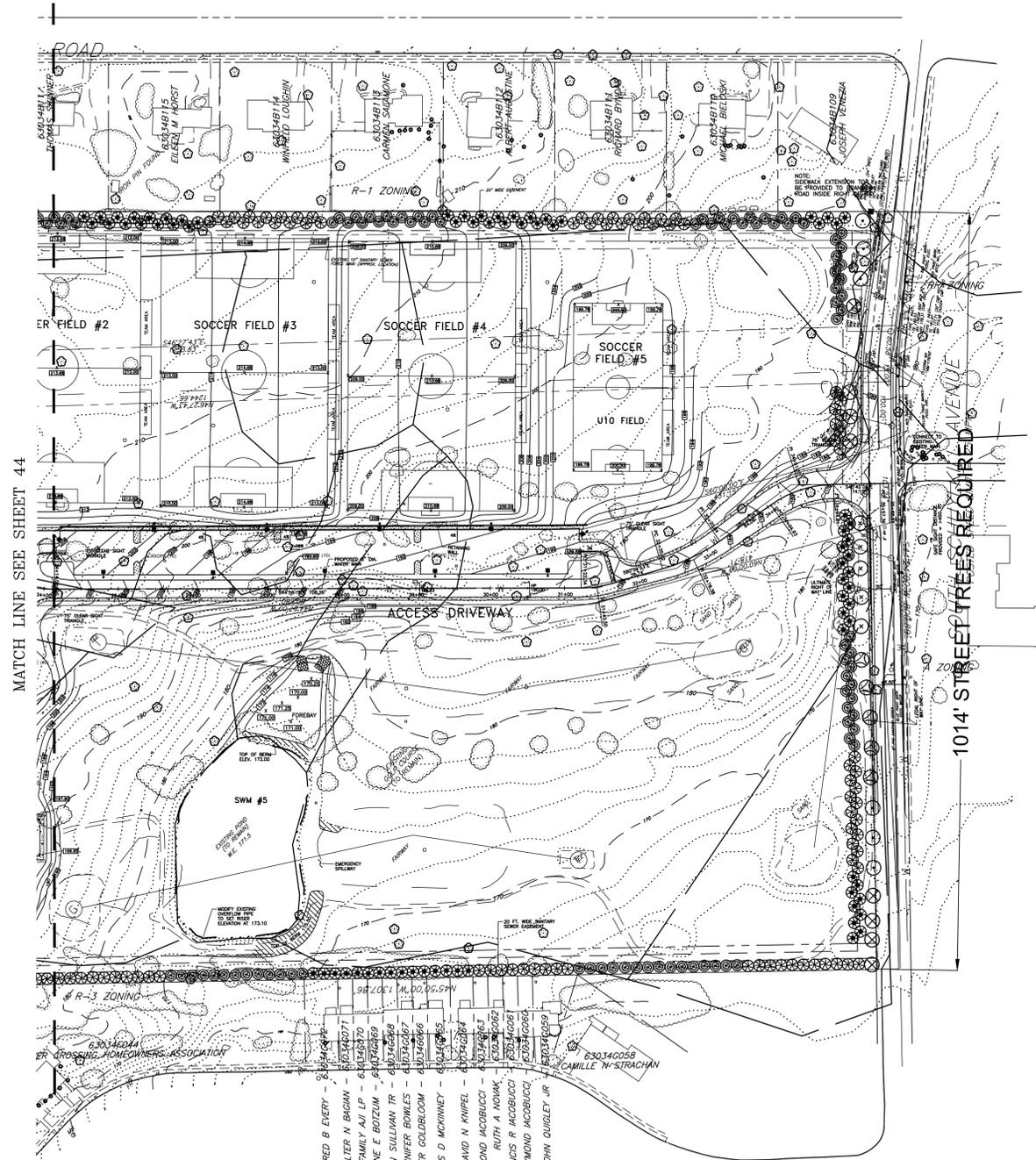
APPENDIX 'A' - STORMWATER MANAGEMENT DESIGN

20. LANDSCAPING
 Stormwater Management facilities shall be appropriately screened. Plantings shall consist of clusters of evergreens interspersed with groupings of deciduous trees and shrubs.

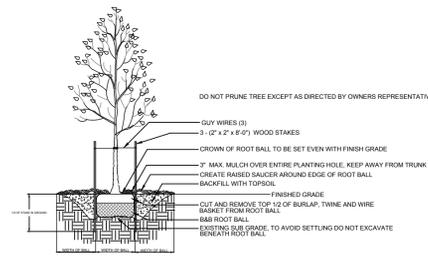
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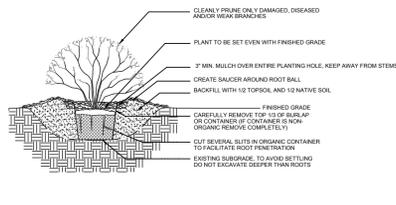
REQUIRED	PROVIDED
25' (SEE SECTION 507)	25'
REQUIRED	PROVIDED
24 TREES 41 TREES	24 TREES 41 TREES
SIDEWALKS	SIDEWALKS HAVE BEEN PROVIDED
SEE SECTION 507.3.F BELOW	
CONIFEROUS PLANTING SCREEN	755 EVERGREEN TREES @ 8' HT. PLANTED 10-15' O.C.
REQUIRED	PROVIDED
NON-SPECIFIC	24 DECIDUOUS TREES 42 EVERGREEN TREES 150 DECIDUOUS SHRUBS



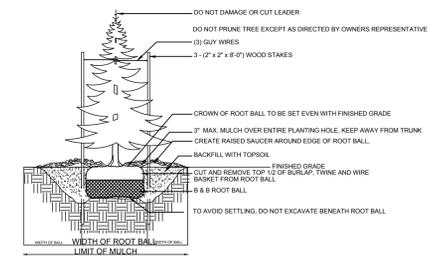
REQUIRED TOWNSHIP PLANT SCHEDULE				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
SECTION 515. SHADE TREES				
17	⊙	Zelkova serrata 'Village Green'	Village Green Zelkova	2.5" cal. min., 12-14' ht., 6-7' sp., B&B
24	⊕	Tilia americana	American Linden	2.5" cal. min., 12-14' ht., 6-7' sp., B&B
10	⊕	Acer rubrum	Red Maple	2.5" cal. min., 12-14' ht., 6-7' sp., B&B
14	⊕	Quercus phellos	Willow Oak	2.5" cal. min., 12-14' ht., 6-7' sp., B&B
SECTION 507. LOT REQUIREMENTS; GRADING; PLANTING				
262	⊗	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	8' ht. min., 4-5' sp., B&B
242	⊗	Picea glauca	White Spruce	8' ht. min., 4-5' sp., B&B
251	⊗	Picea abies	Norway Spruce	8' ht. min., 4-5' sp., B&B
SECTION 504. ALLEYS, DRIVEWAYS AND PARKING AREAS				
1390	⊗	Liriope muscari 'Variegata'	Variegated Liriope	1 gal.
615	⊗	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	1 gal.
WATER: ATTACHMENT 1; 'APPENDIX A' - LANDSCAPING.				
24	⊗	Liriodendron tulipifera	Tulip Poplar	2.5" cal. min., 12-14' ht., 6-7' sp., B&B
21	⊗	Juniperus virginiana	Eastern Red Cedar	7-8' ht., 4-5' sp., B&B
21	⊗	Ilex opaca	American Holly	7-8' ht., 4-5' sp., B&B
75	⊗	Aronia arbutifolia	Red Chokeberry	24-30" ht., 24-30" sp.
75	⊗	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	24-30" ht., 24-30" sp.
EXISTING TREE TO REMAIN				



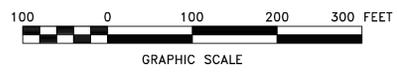
TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



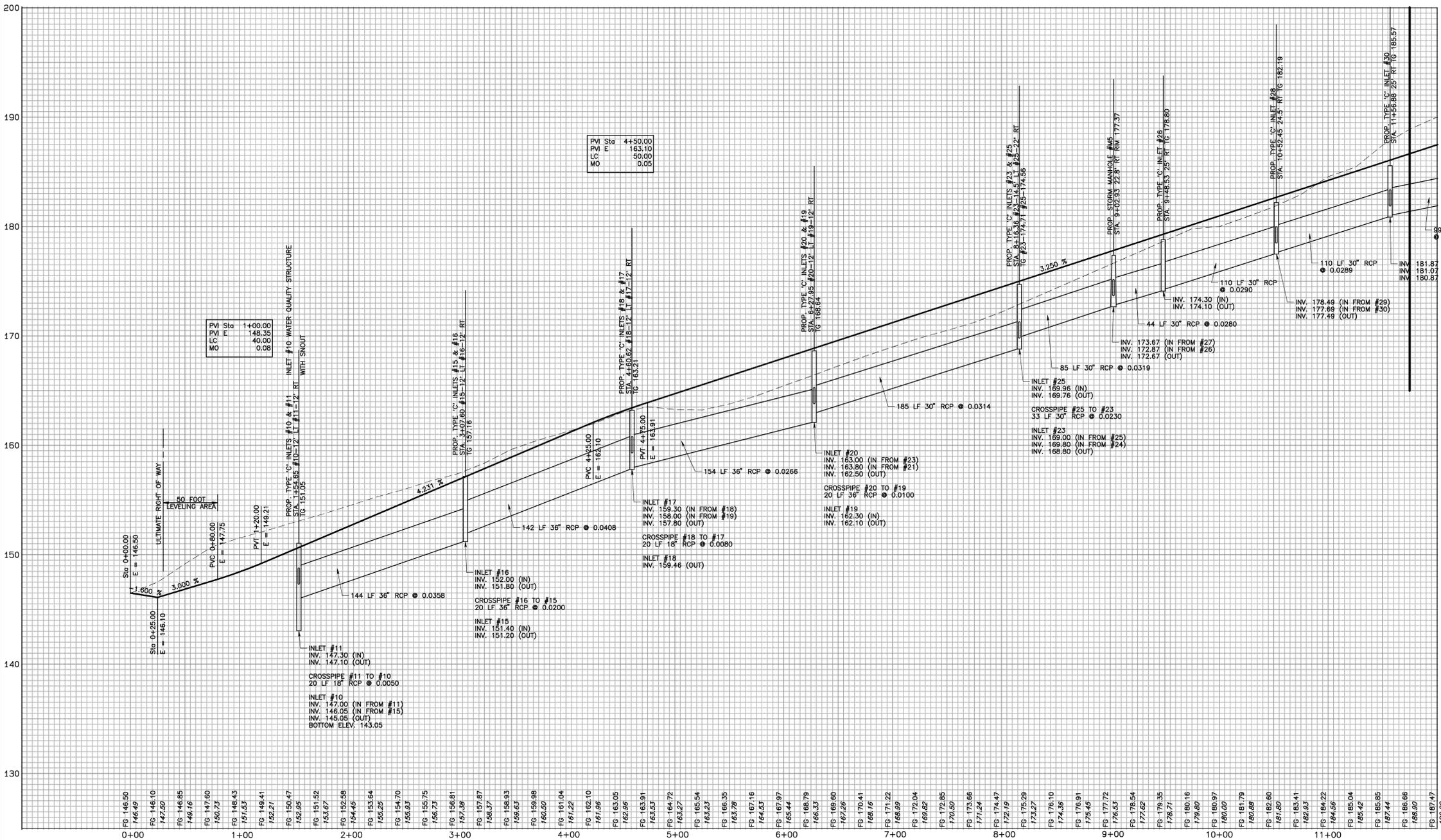
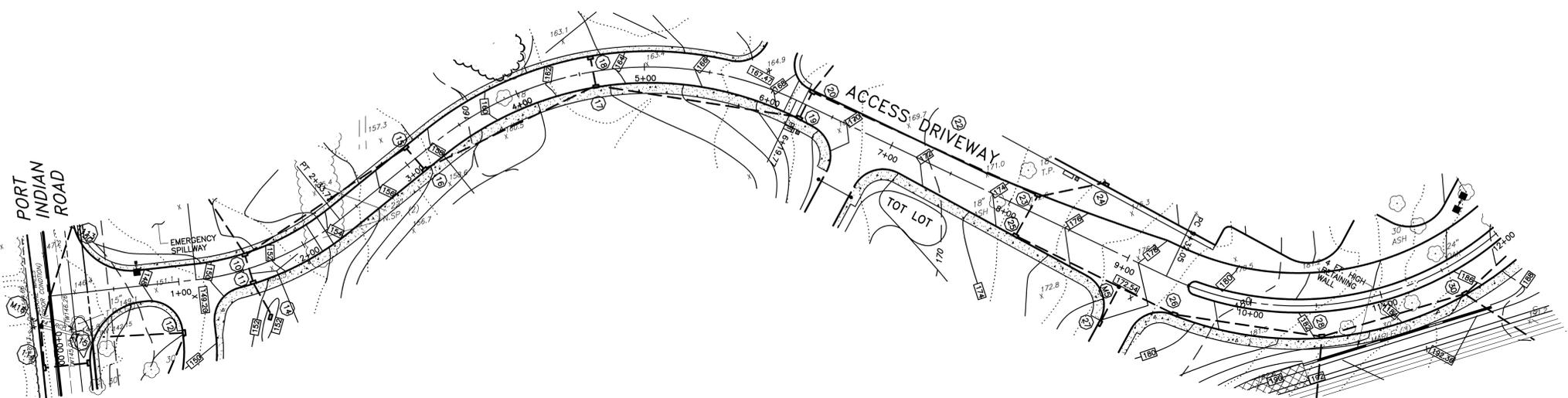
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LANDSCAPE PLAN FOR
WESTOVER SPORTING COMPLEX
 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
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 Drawn- PJS
 Checked- PJS
 Sheet- 45 of 63
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Plotted: 12/23/2014 File:



MATCH LINE SEE SHEET 47

PRELIMINARY PLAN
ACCESS DRIVEWAY
PROFILE SHEET

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.

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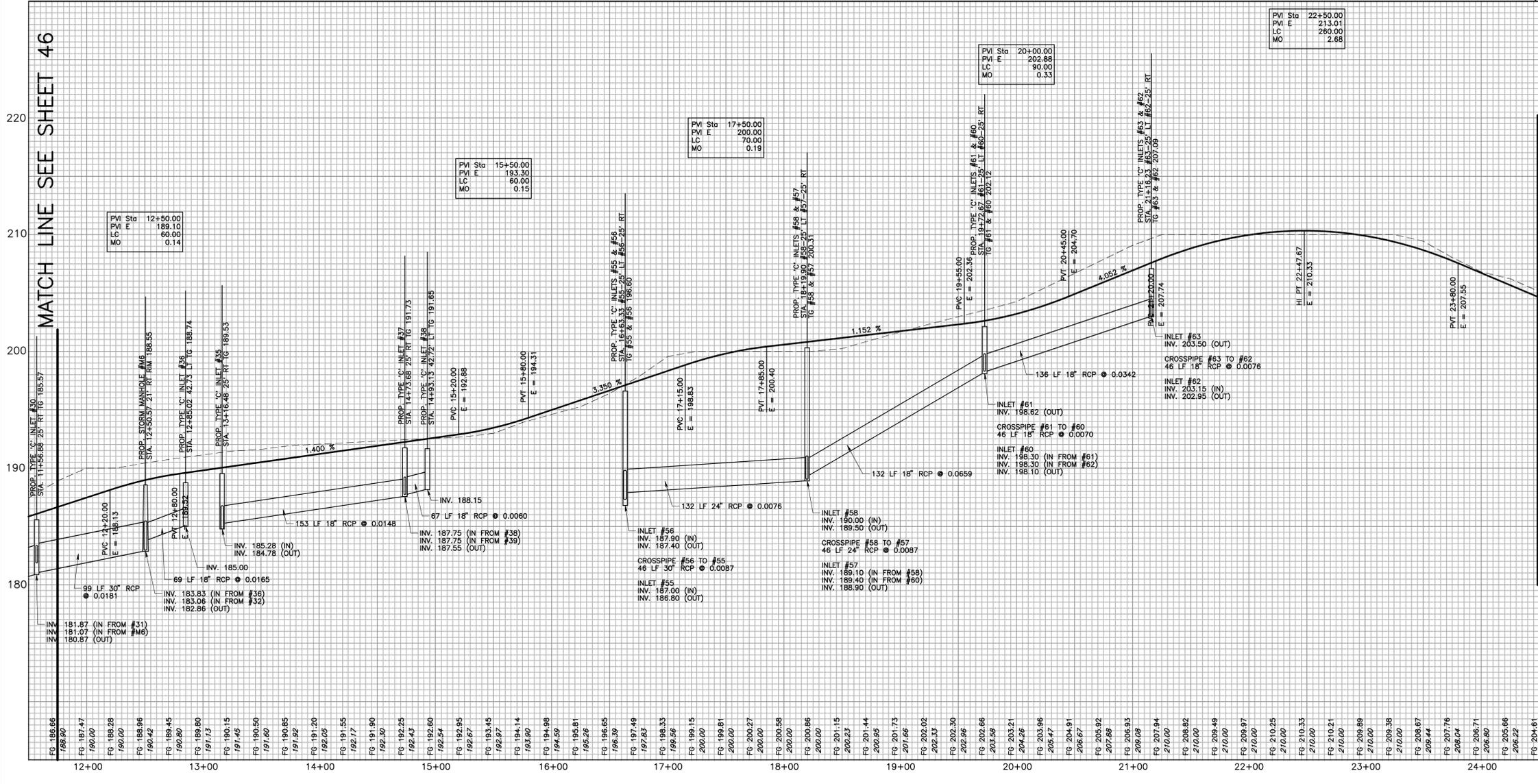
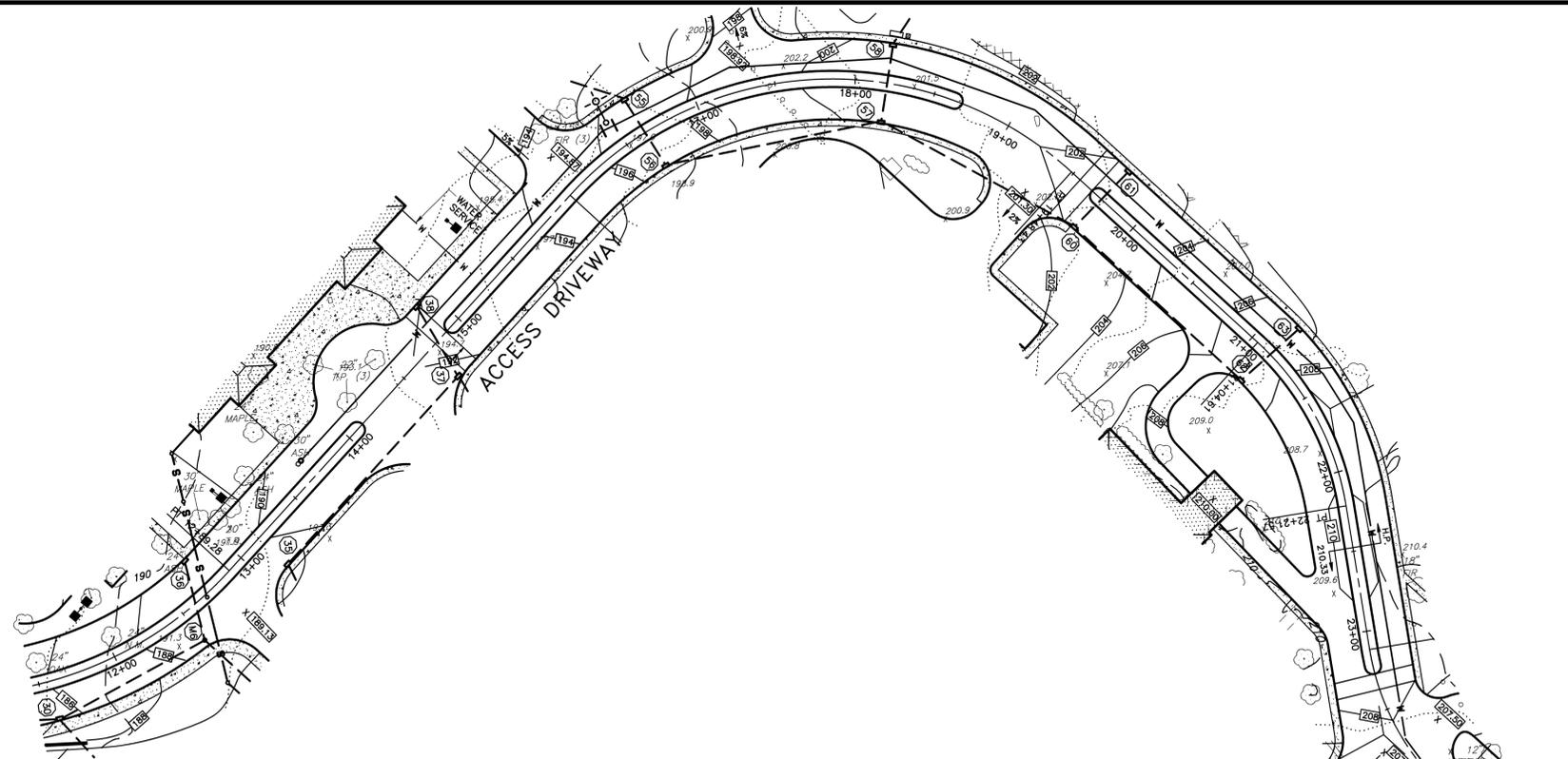
Scale- H: 1" = 50'

Drawn- SLM

Checked- A.J.B.

Sheet- 46 OF 63

Ver.- 000

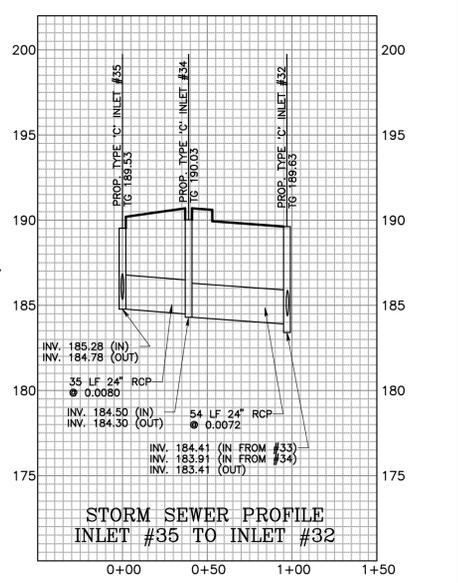
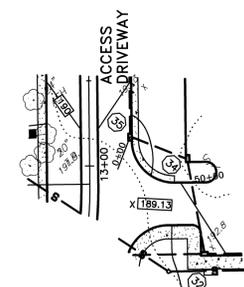
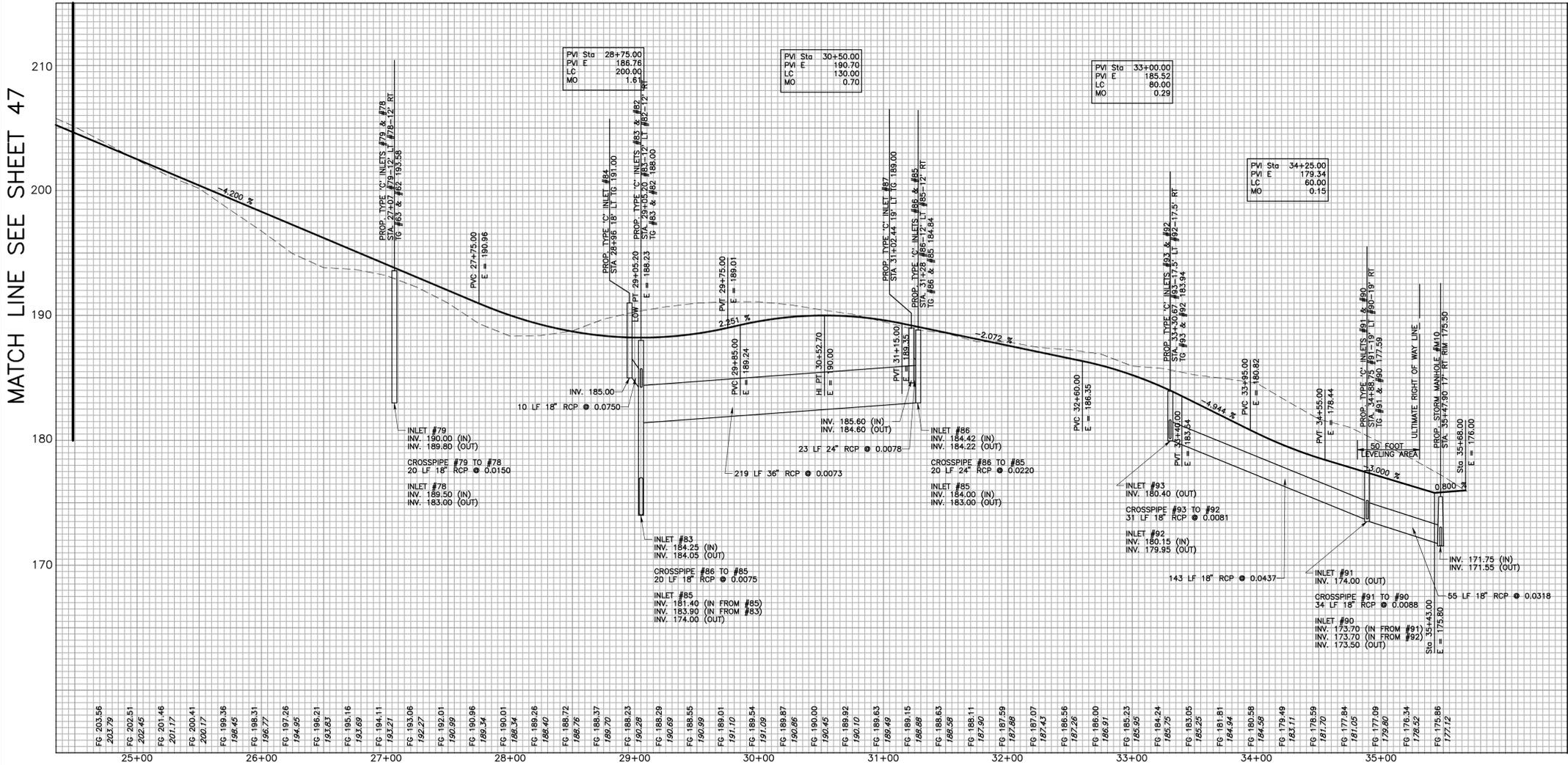
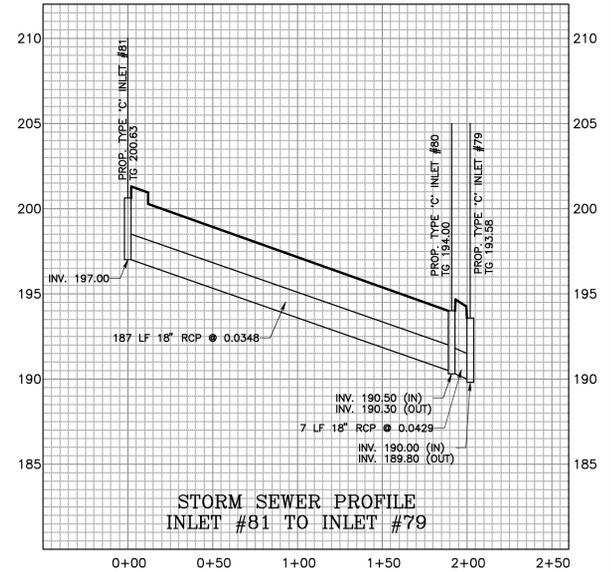
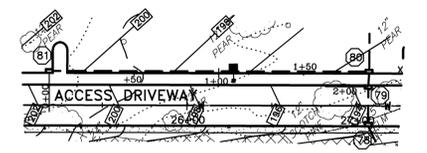
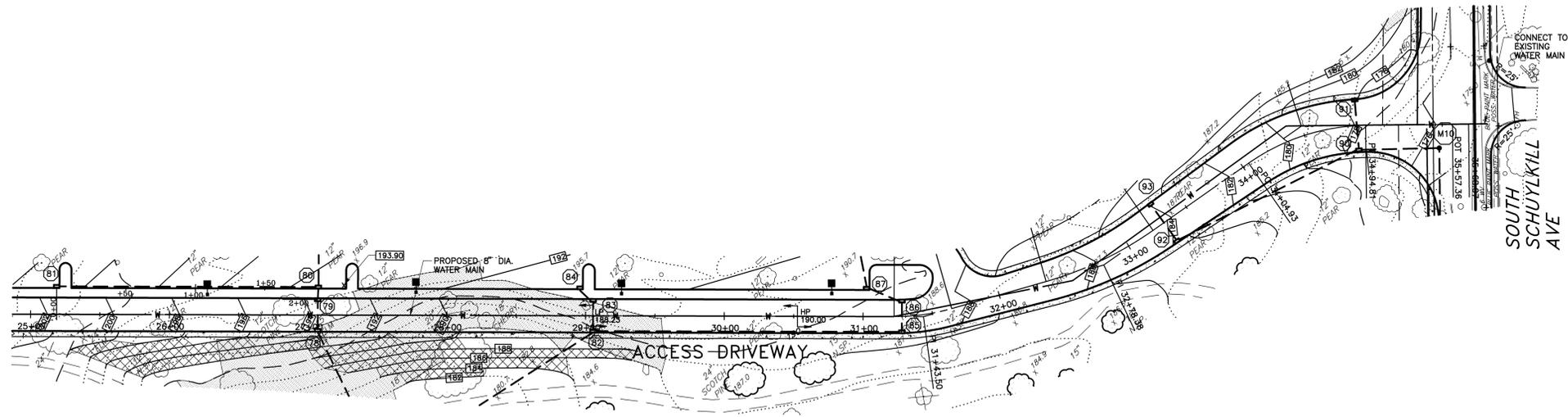


MATCH LINE SEE SHEET 46

MATCH LINE SEE SHEET 48

PRELIMINARY PLAN
ACCESS DRIVEWAY
PROFILE SHEET

LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX	
WEST NORRITON TOWNSHIP	MONTGOMERY COUNTY, PA.
Edward B. Walsh & Associates, Inc.	
CIVIL ENGINEERS & SURVEYORS	
LIONVILLE PROFESSIONAL CENTER 125 Dowlin Forge Road Exton, Pennsylvania 19341 Phone (610) 903-0060 Fax (610) 903-0080	
	Project- 2769 Date- 12-23-14 Scale- H: 1" = 50' V: 1" = 5' Drawn- SLM Checked- A.J.B. Sheet- 47 OF 63
Plotted: 2/20/2015	File: F:\J\2769\FPS\2769-SPORTS-2.pr
	Ver.- 000



MATCH LINE SEE SHEET 47

PRELIMINARY PLAN
ROAD PROFILE SHEET

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

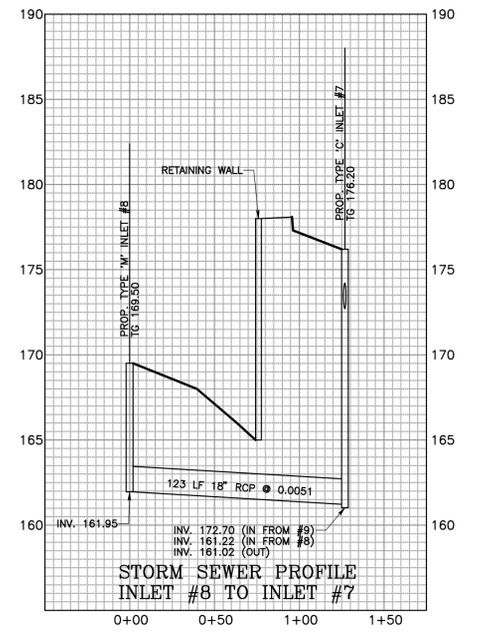
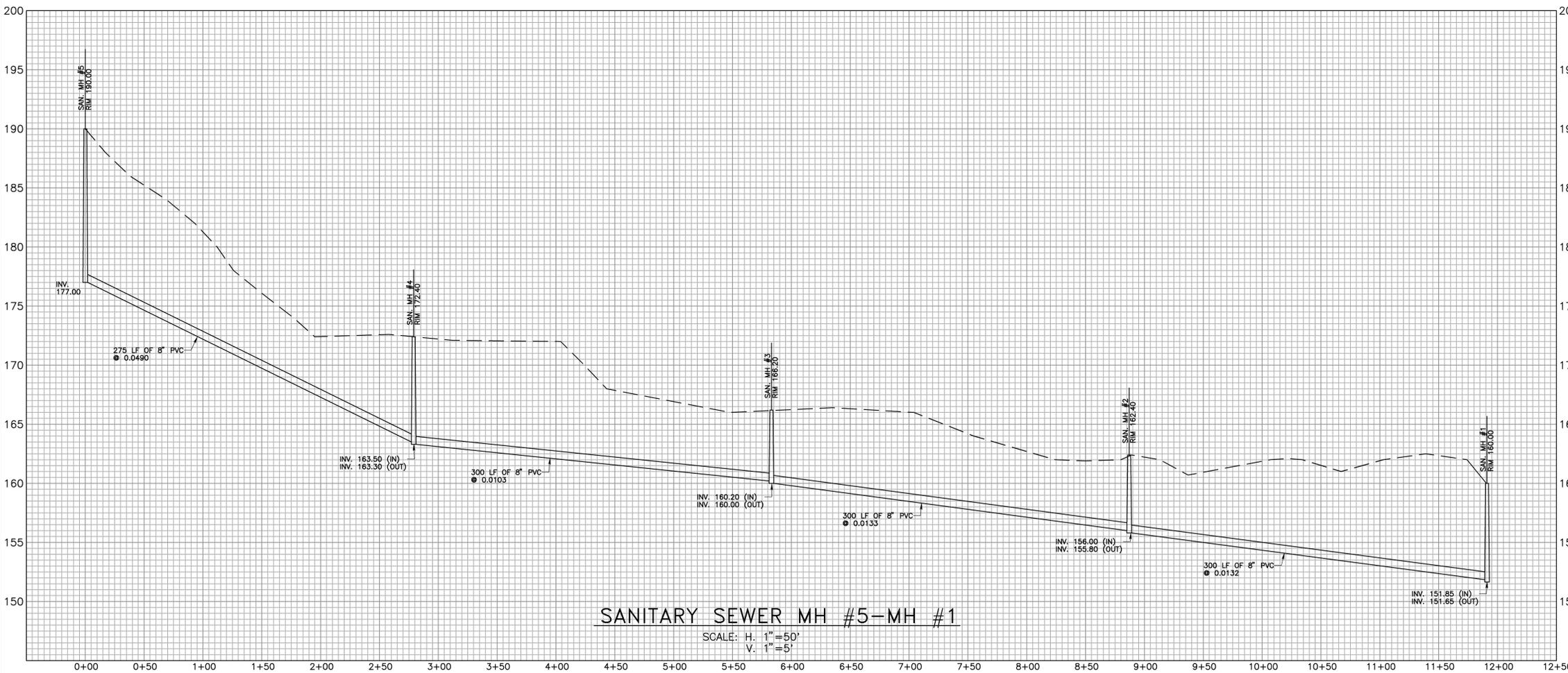
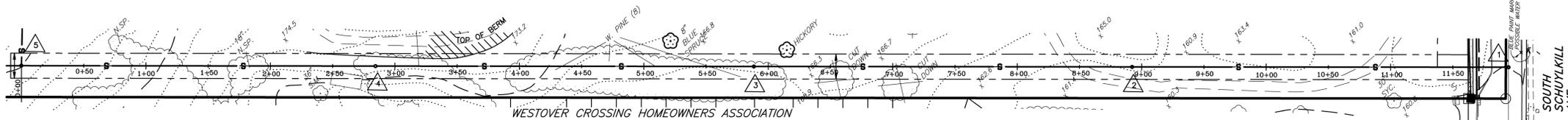
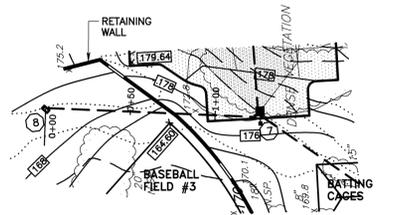
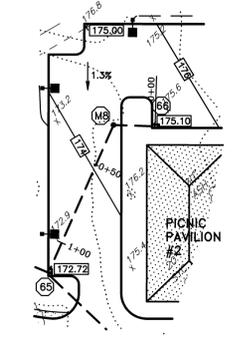
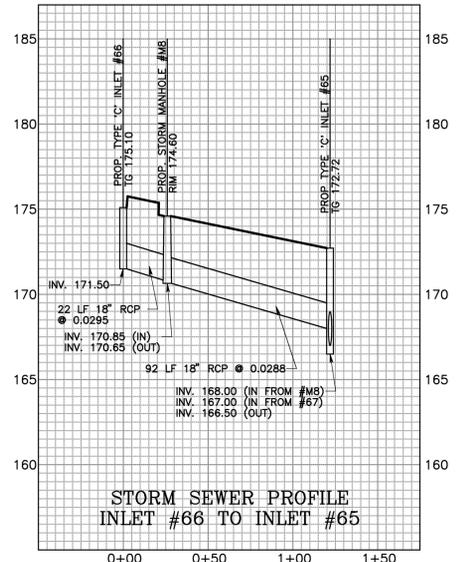
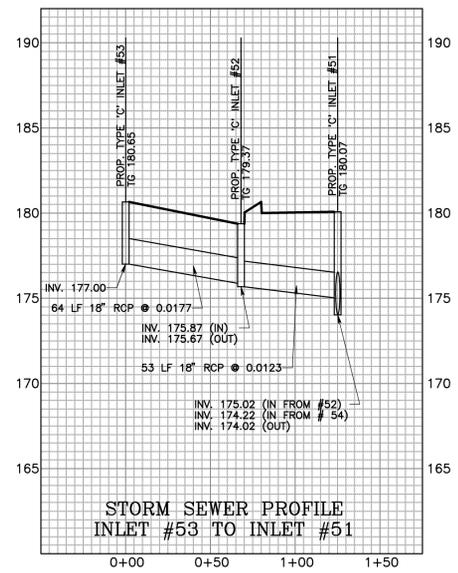
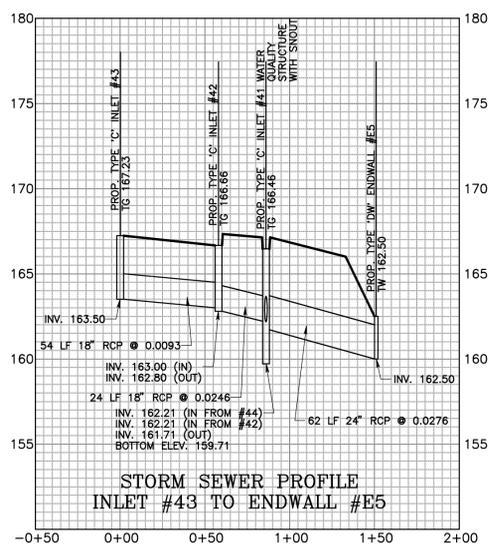
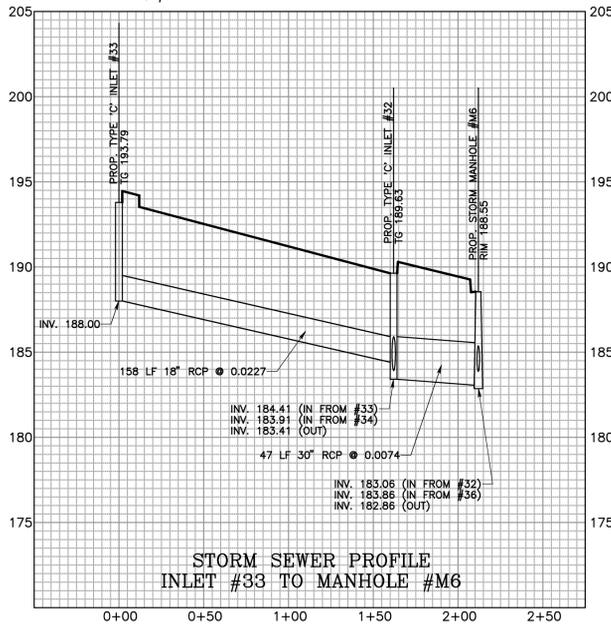
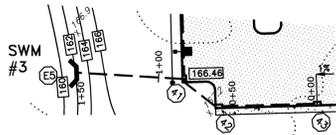
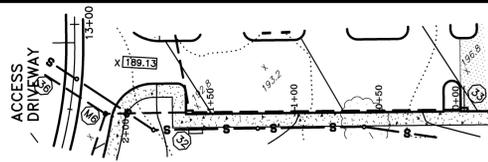
Edward B. Walsh & Associates, Inc.

CIVIL ENGINEERS & SURVEYORS

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125 Dowlin Forge Road
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Phone (610) 303-0060
Fax (610) 303-0080

Project- 2769
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Drawn- SLM
Checked- A.J.B.
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**PRELIMINARY PLAN
PROFILE SHEET**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

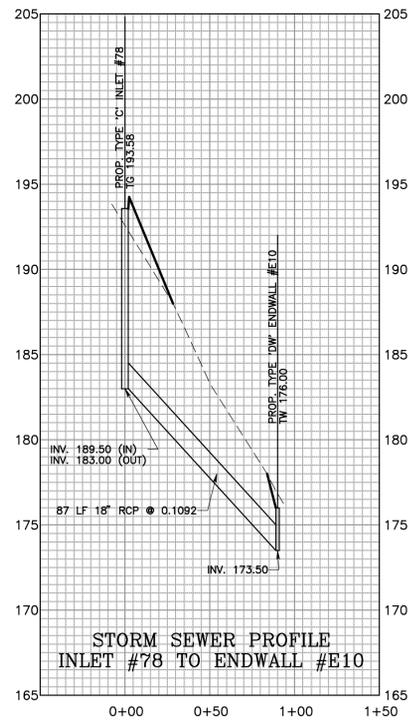
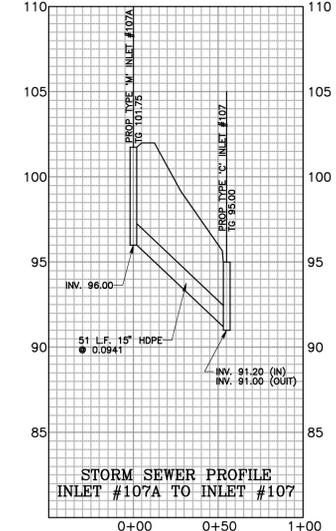
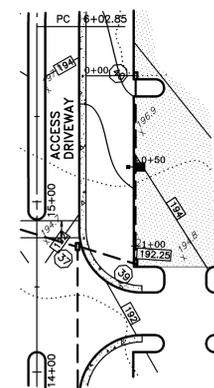
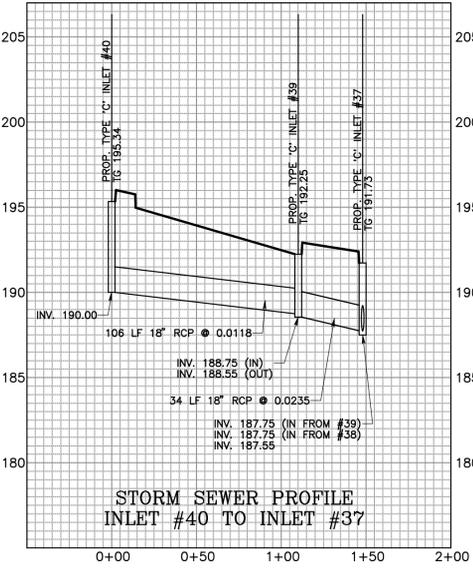
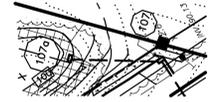
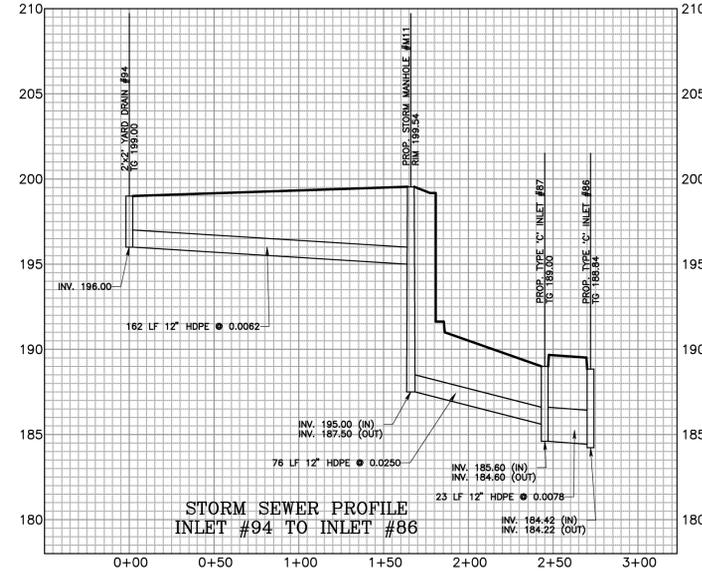
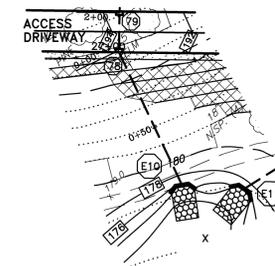
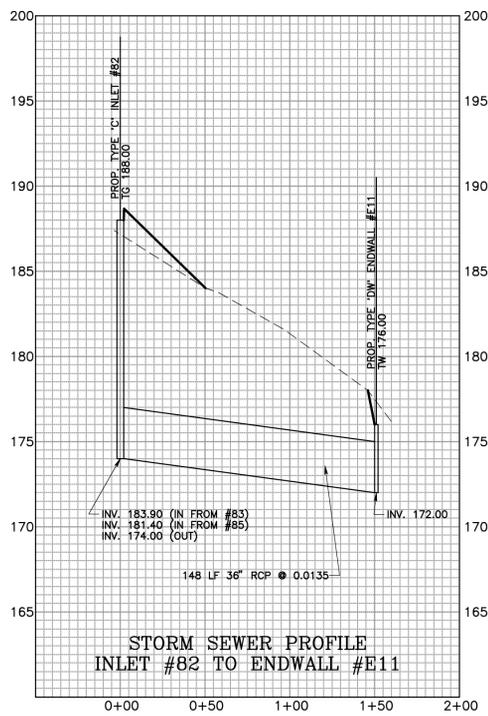
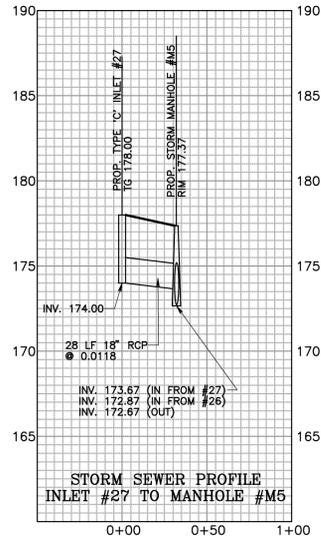
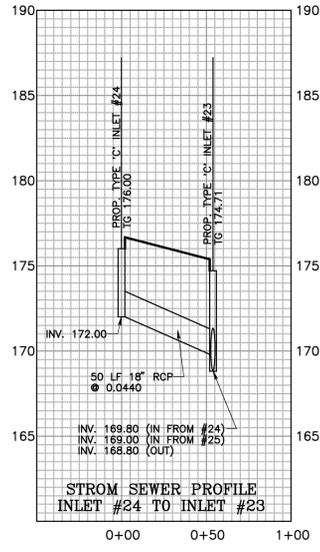
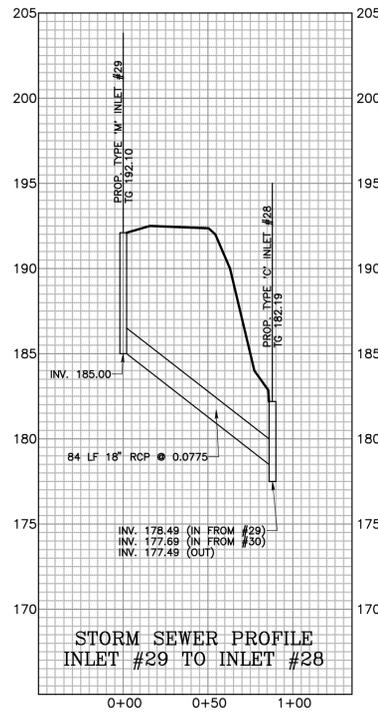
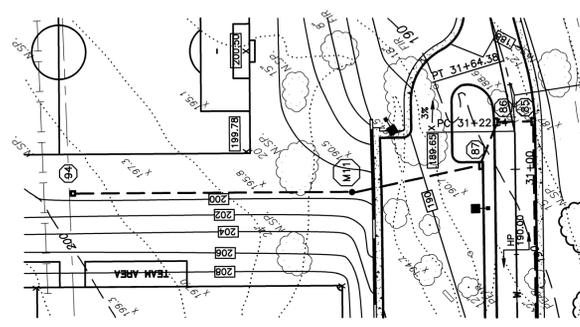
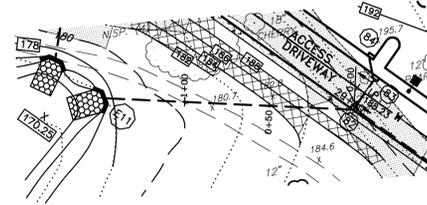
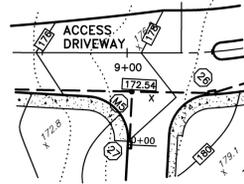
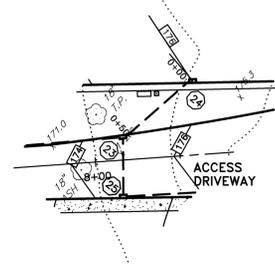
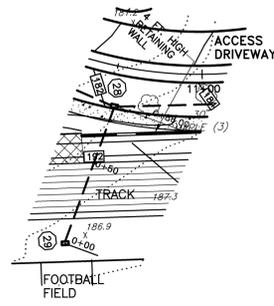
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

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**PRELIMINARY PLAN
PROFILE SHEET**

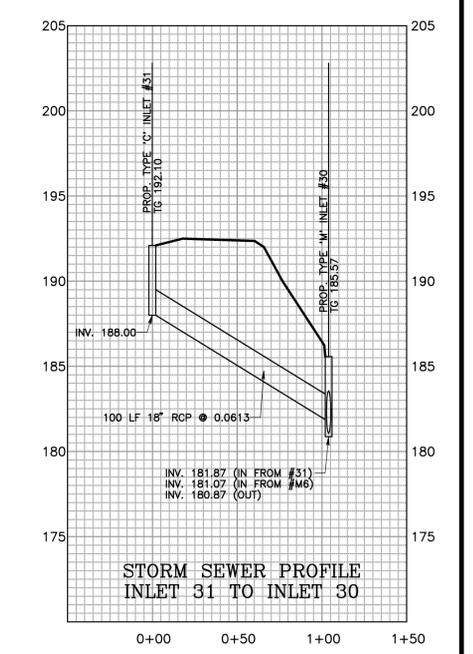
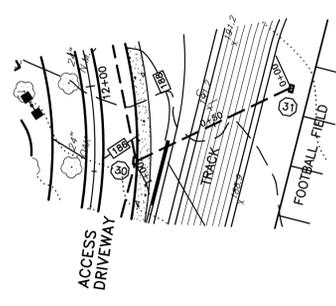
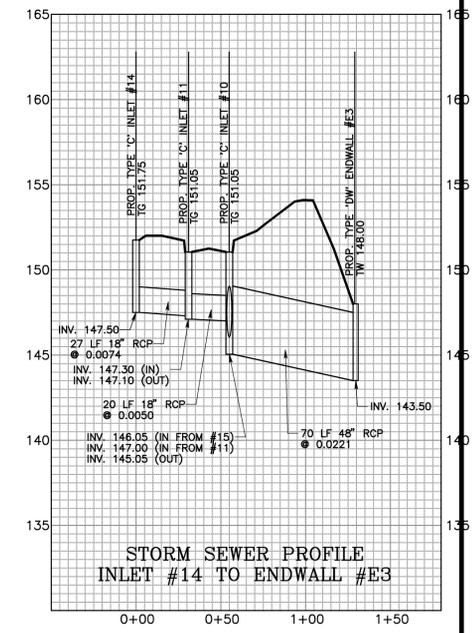
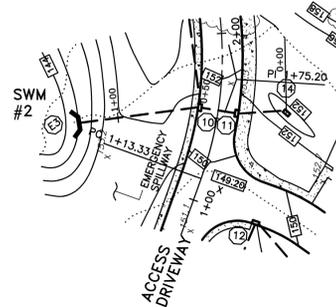
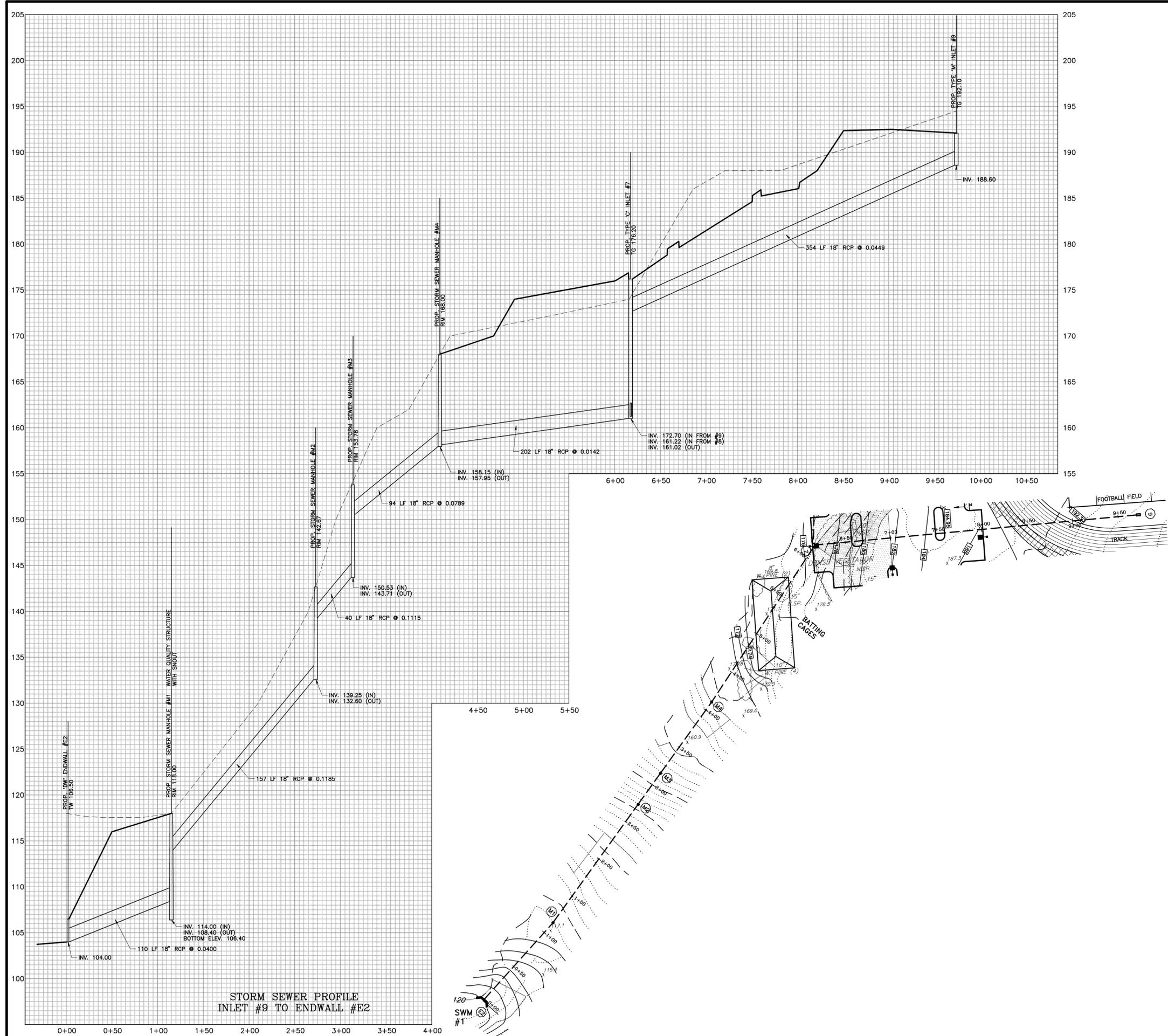
LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

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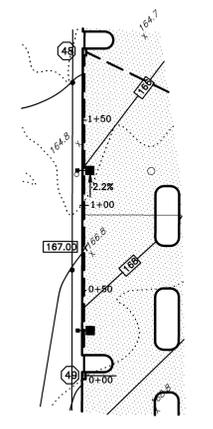
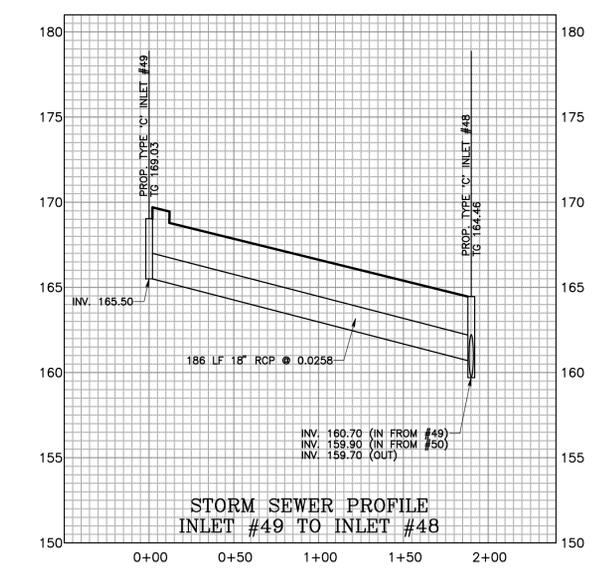
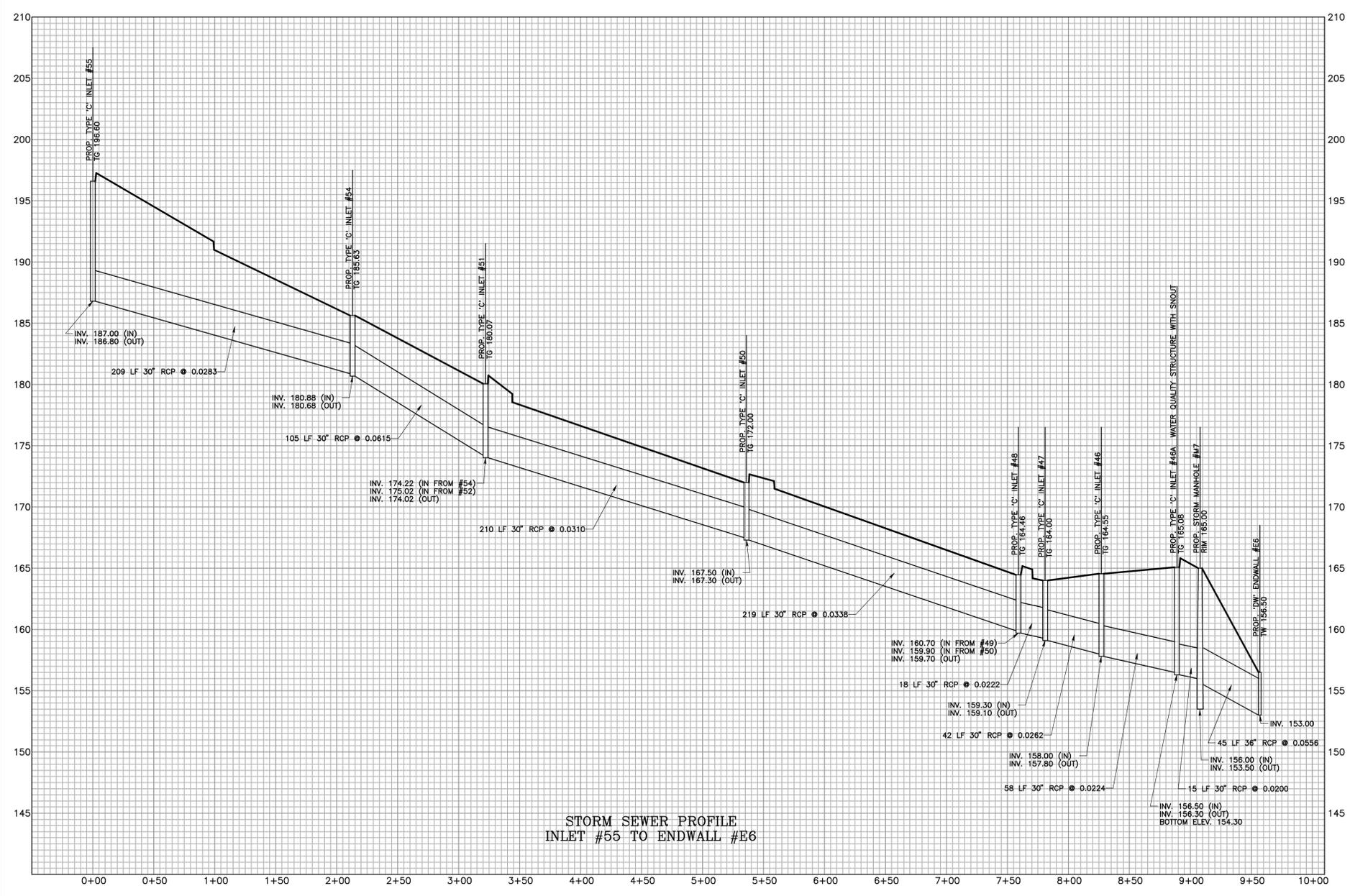
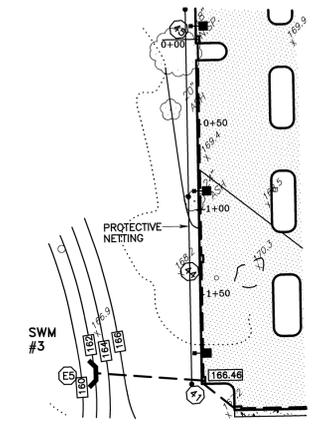
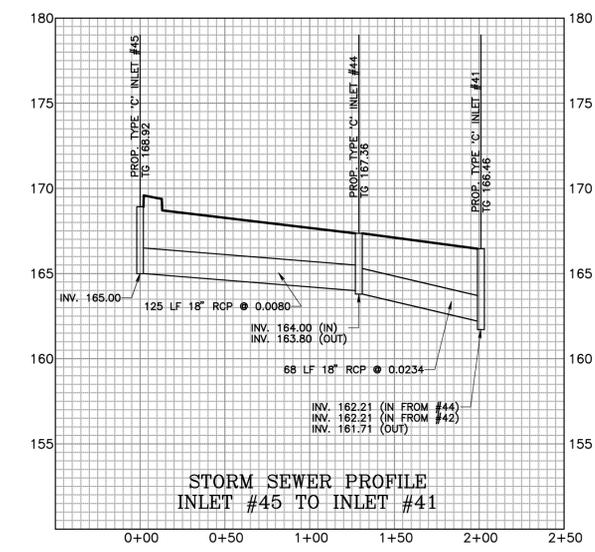
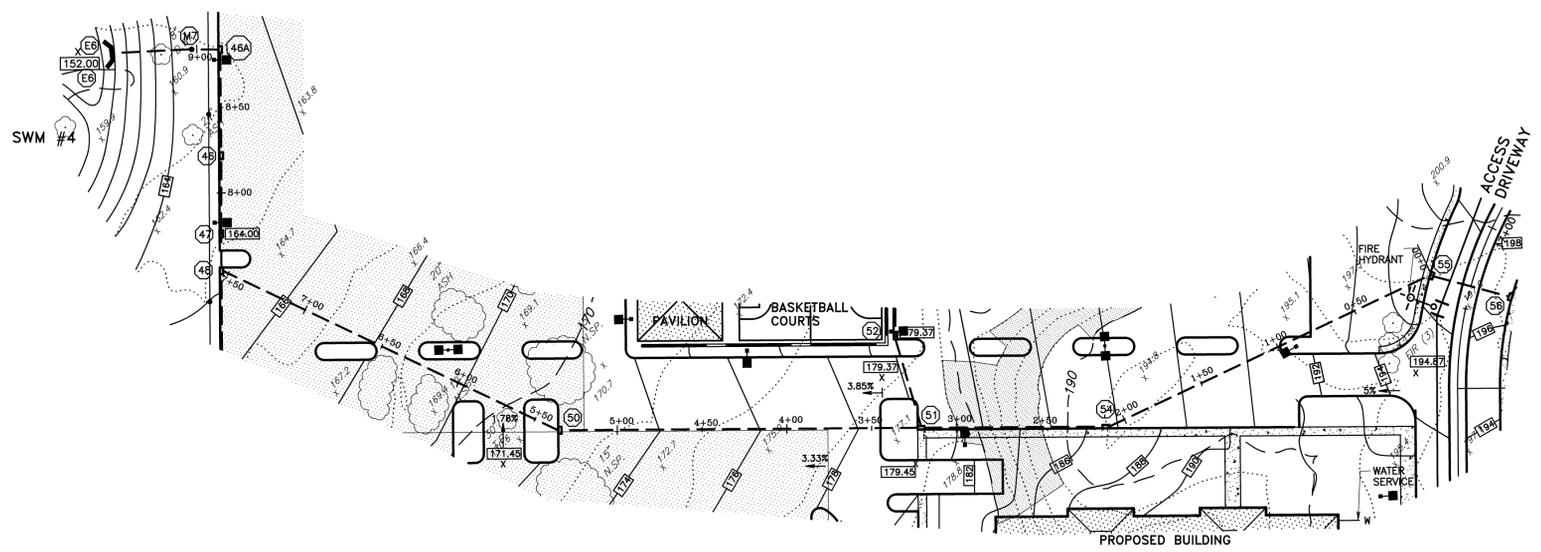


PRELIMINARY PLAN PROFILE SHEET

LAND DEVELOPMENT PLAN FOR
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 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.
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WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

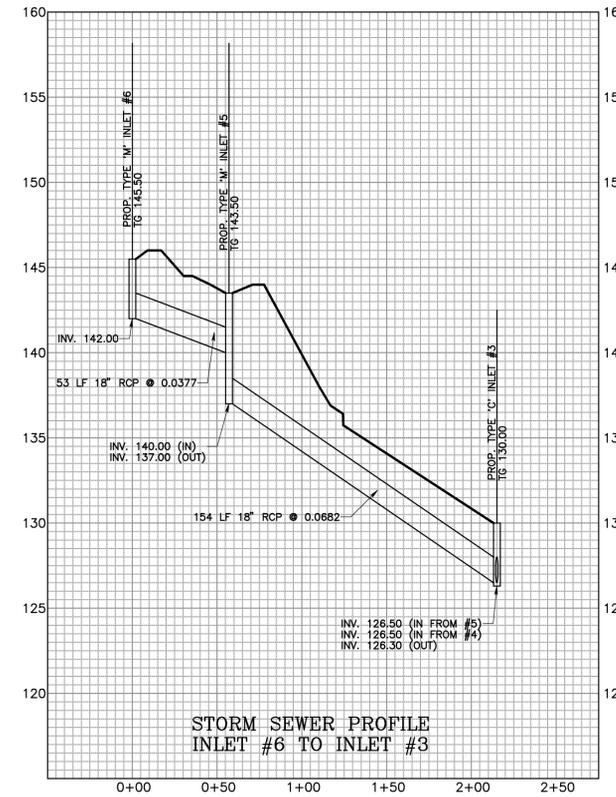
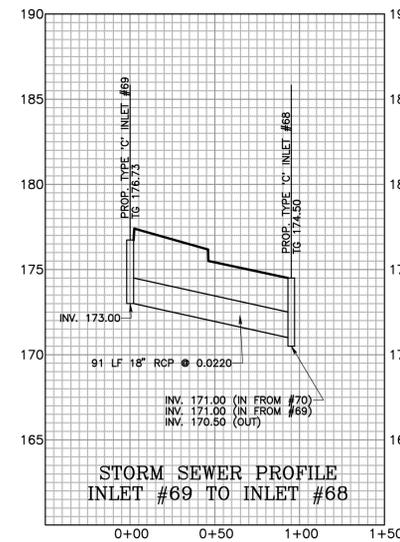
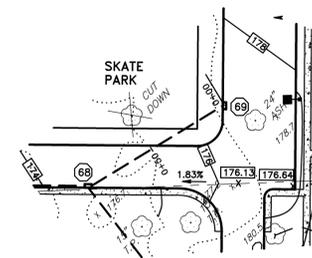
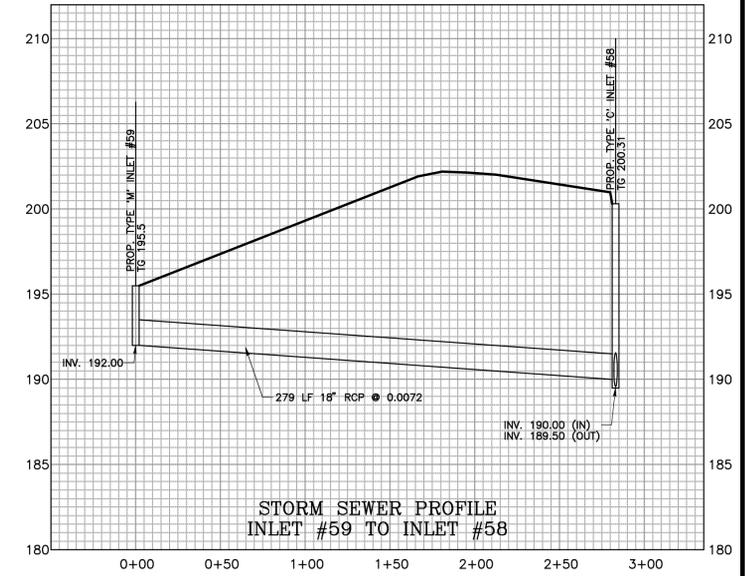
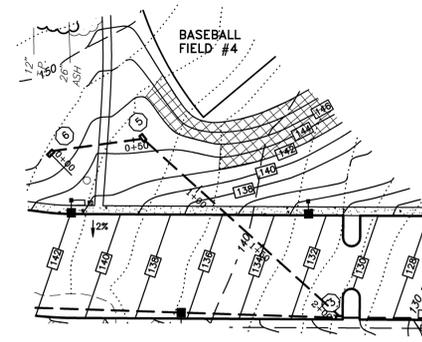
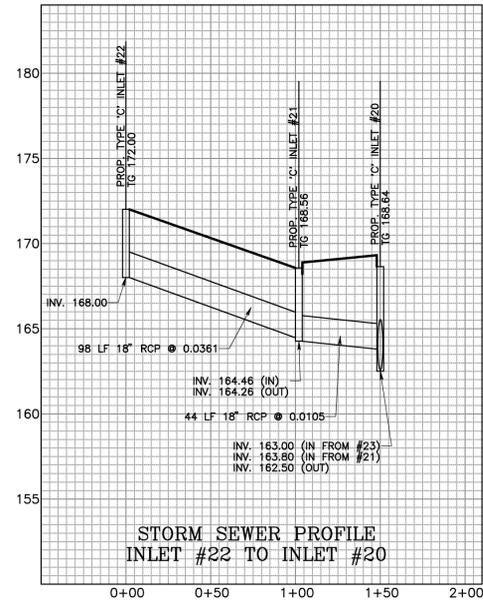
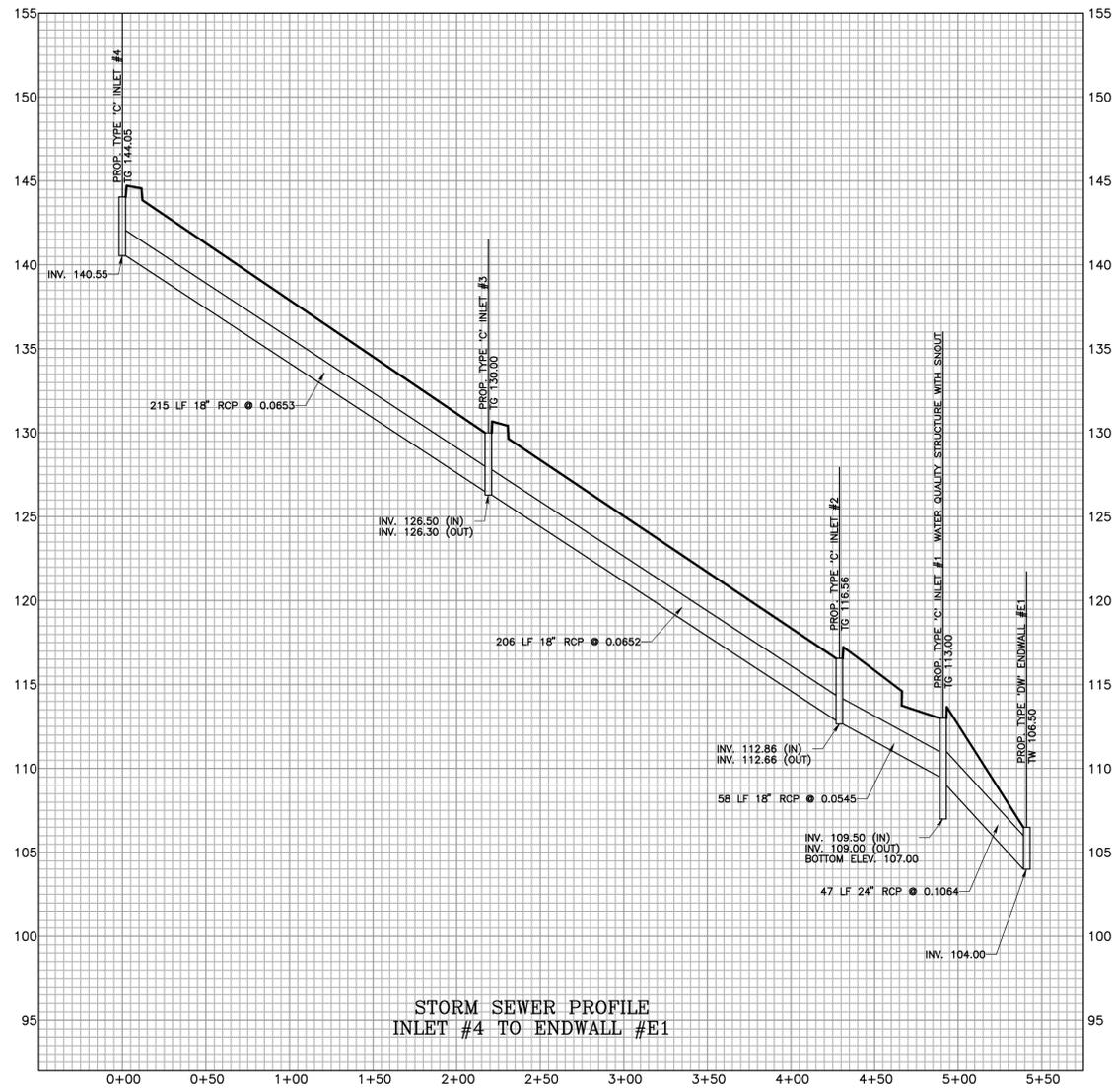
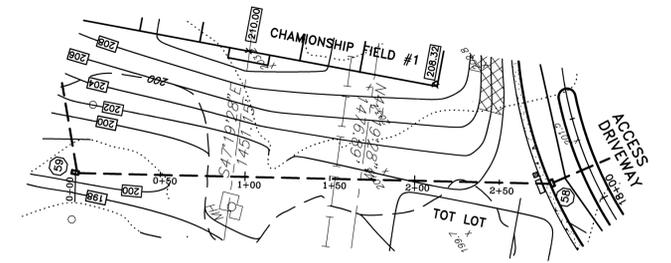
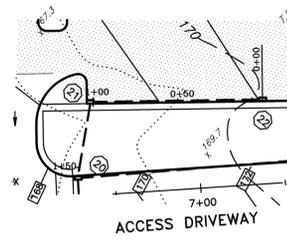
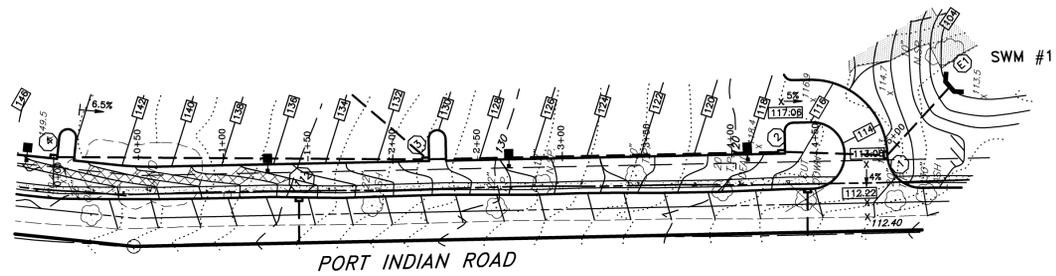
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 303-0060
Fax (610) 303-0080

EBW

Project- 2769
Date- 12-23-14
Scale- H: 1" = 50'
V: 1" = 5'
Drawn- SLM
Checked- A.J.B.
Sheet- 52 OF 63

Plotted: 2/20/2015 File: F:\JBA\2769\FPS\2769-SPORTS-2.prc Ver.- 000



PRELIMINARY PLAN
PROFILE SHEET

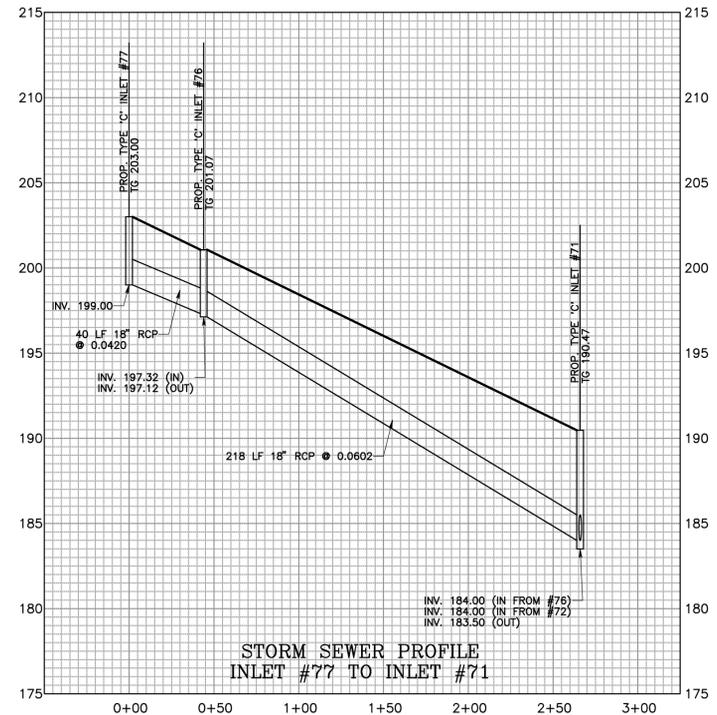
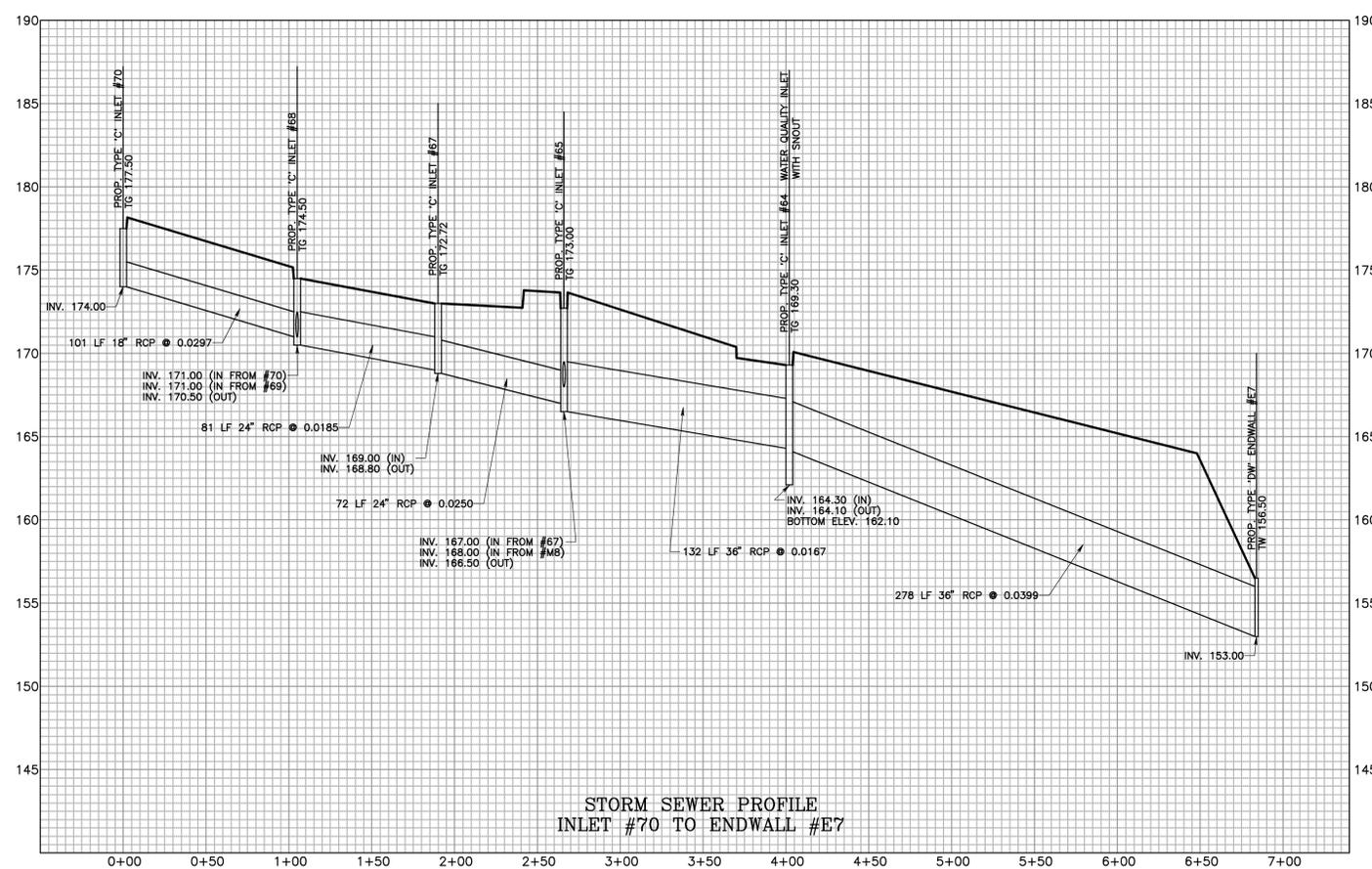
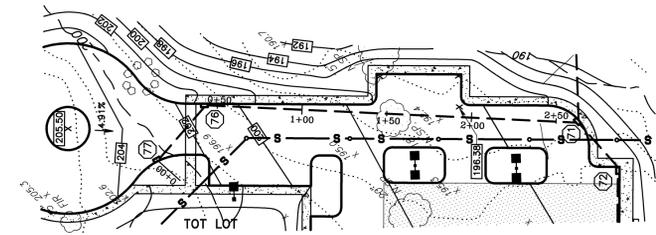
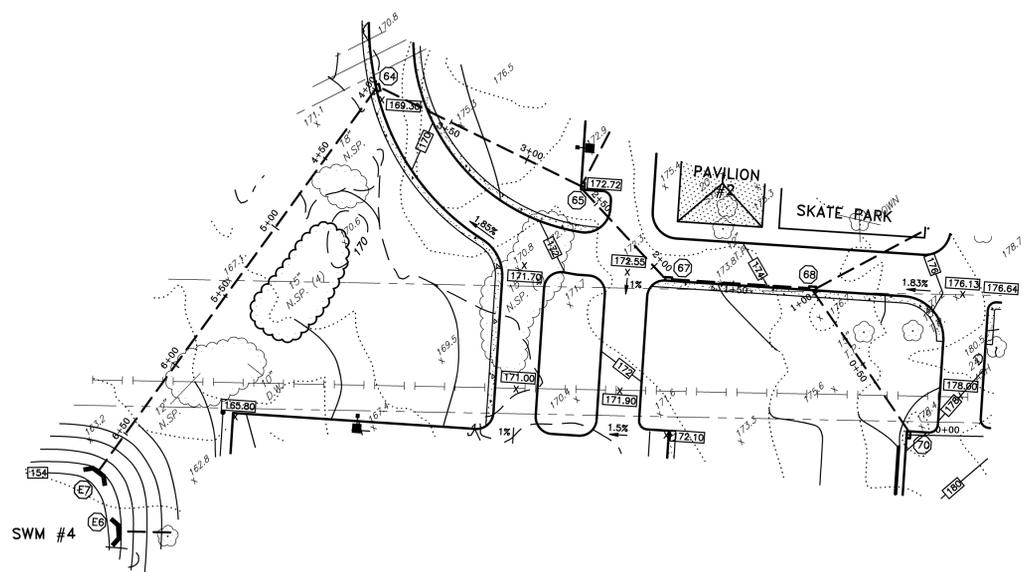
LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

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Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.pro Ver.- 000



PRELIMINARY PLAN
PROFILE SHEET

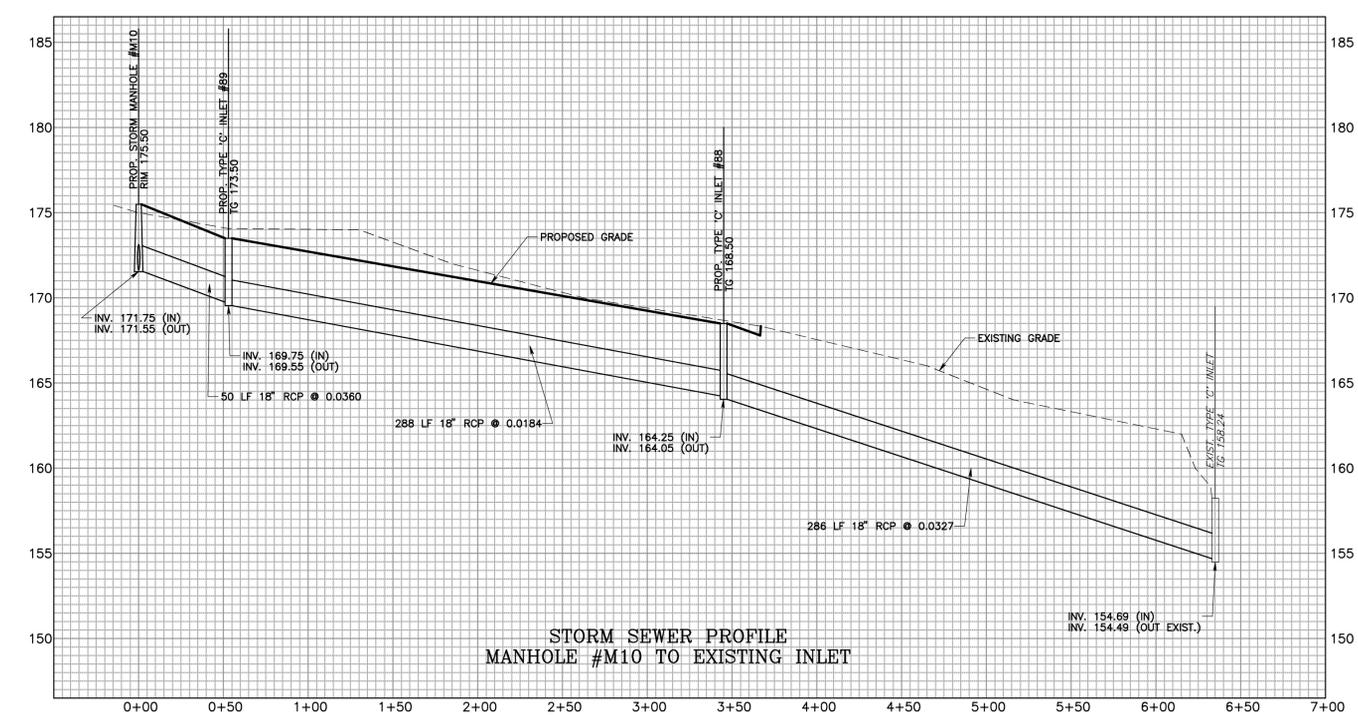
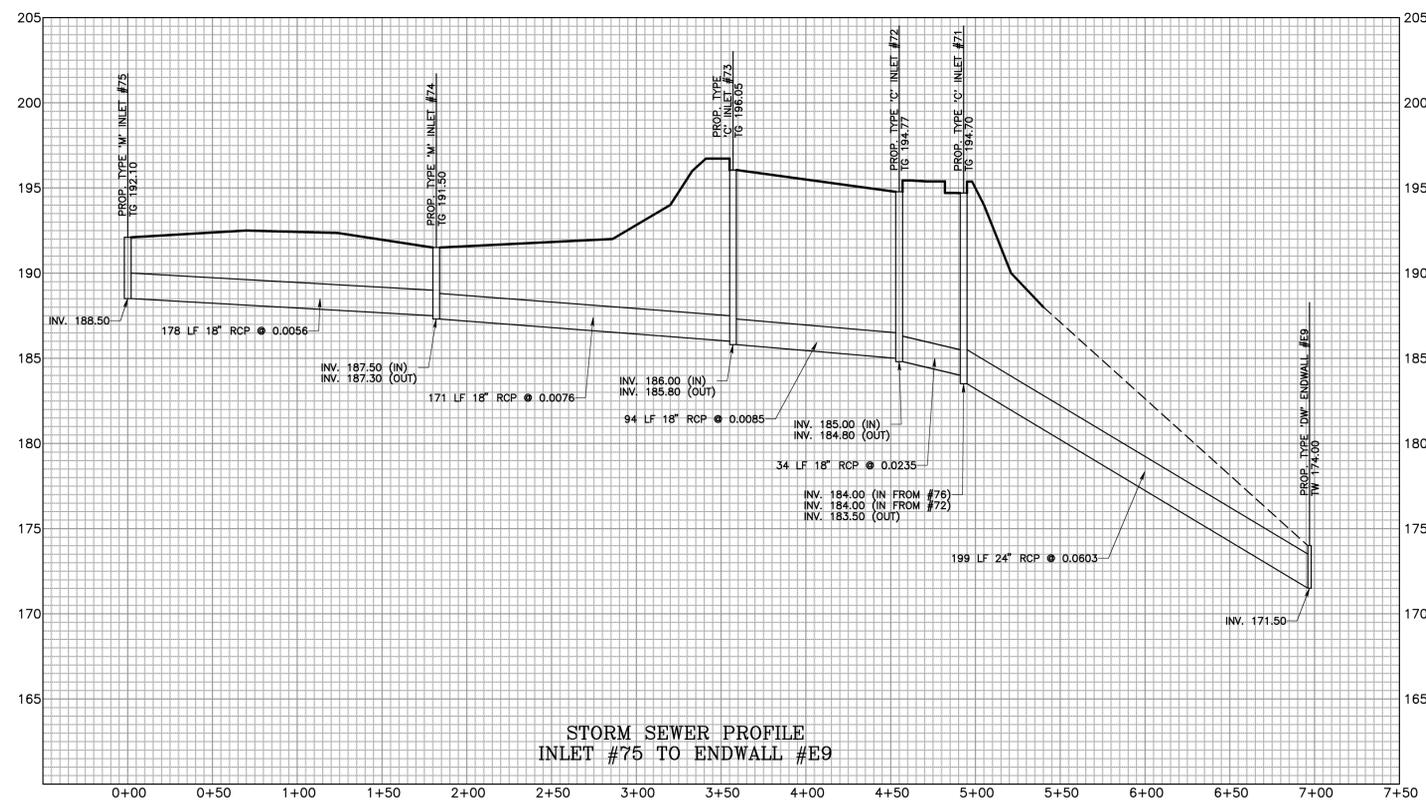
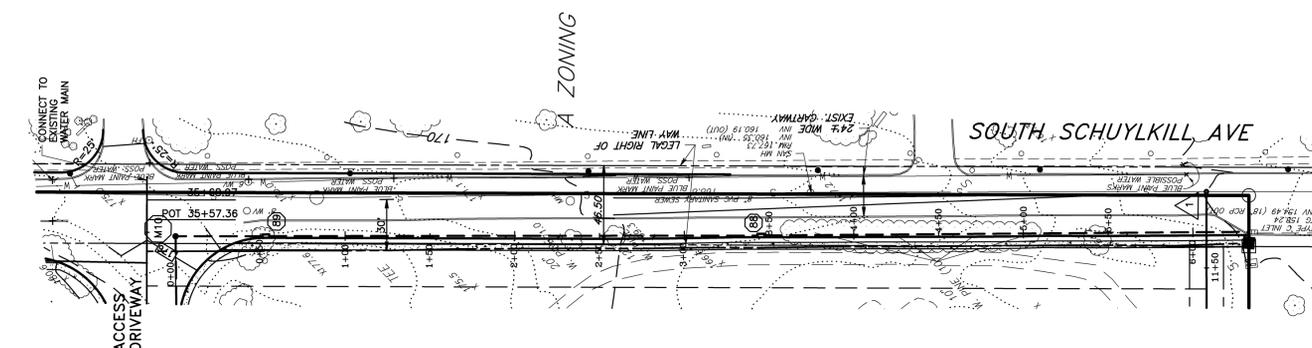
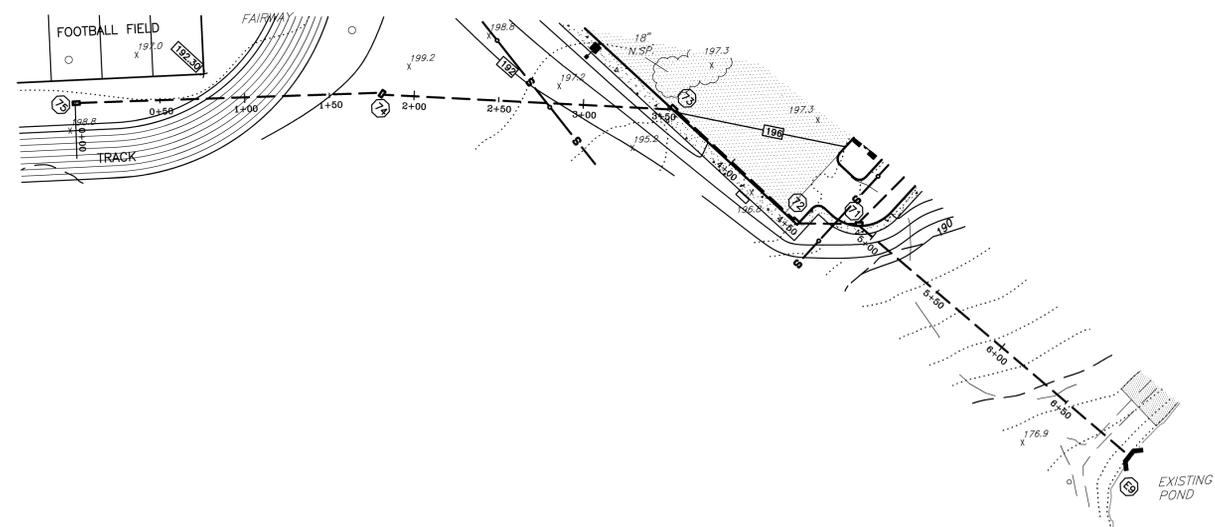
LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP, MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
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PROFILE SHEET

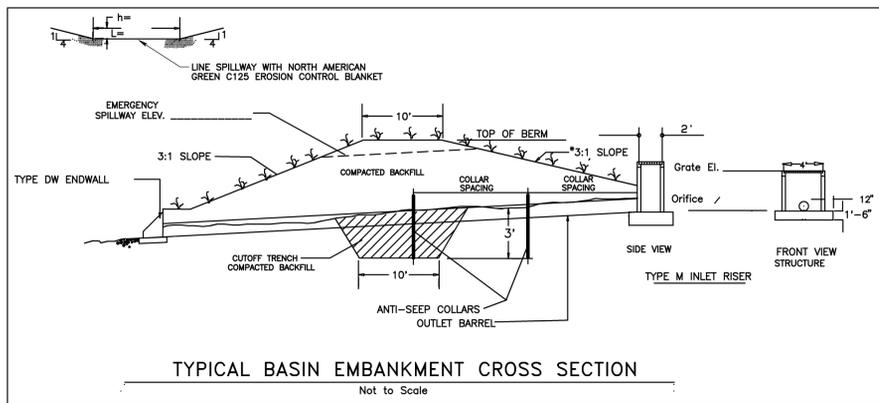
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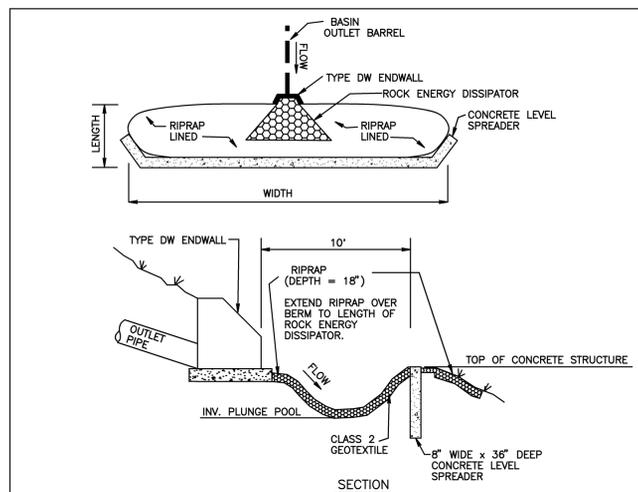
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Project- 2769
Date- 12-23-14
Scale- H: 1" = 50'
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Sheet- 55 OF 63
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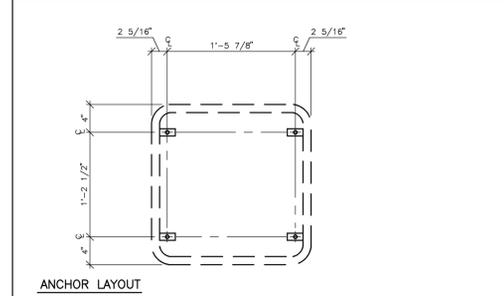
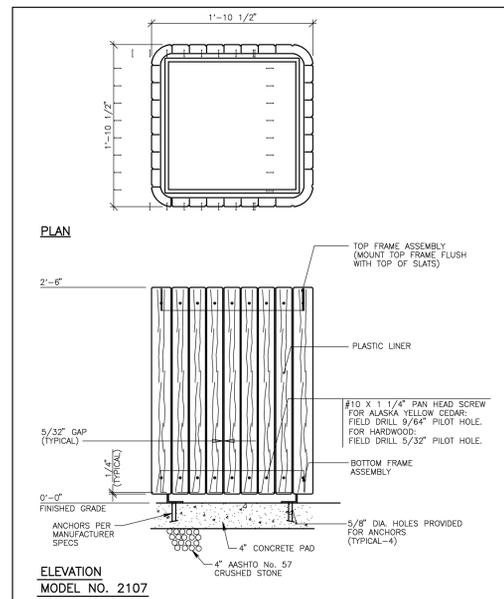


DETENTION BASIN TABULATION

BASIN#	TOP OF BERM ELEV.	EMERGENCY SPILLWAY ELEV.	EMERGENCY SPILLWAY WIDTH	RISER GRATE ELEV.	ORIFICE SIZE AND ELEV.	BARREL SIZE AND TYPE	BARREL LENGTH	BARREL SLOPE	BARREL INV. (IN)	BARREL INV. (OUT)	BASIN BOTTOM
SWM 1	110.75	109.25	74.00'	108.50	10" @ 102.00 18" @ 105.00	24" RCP	75'	0.0100	102.00	101.25	102.00
SWM 2	152.00	150.15	51.00'	149.00	12" @ 142.25 16" @ 146.00	24" RCP	172'	0.0063	142.25	141.28	142.25
SWM 3	165.00	163.05	15.00'	162.50	6" @ 158.00	18" RCP	80'	0.0100	158.00	157.20	158.00
SWM 4	162.00	160.45	107.00'	159.00	16" @ 153.00 18" @ 156.50	36" RCP	100'	0.0100	153.00	152.00	153.00
MODIFIED POND (SWM 5)	175.50	174.35	90.00'	N/A	4" @ 173.10	4" PVC	30' EXISTING	0.0100	173.10	172.80	165.00

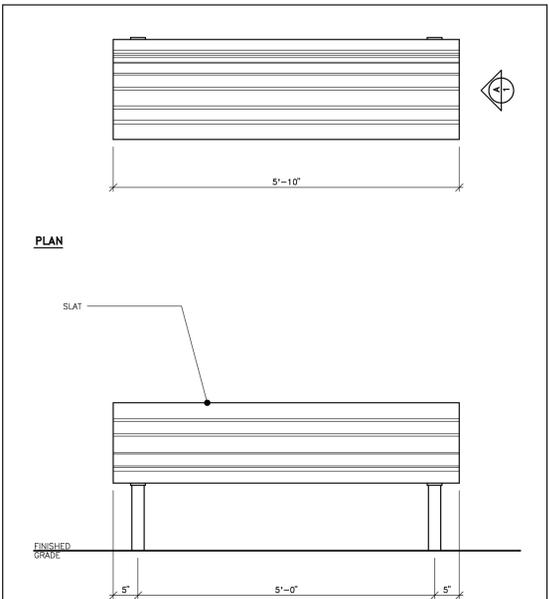


PLUNGE POOL NO.	INV. BARREL OUTLET	INV. OF PLUNGE POOL	TOP OF CONCRETE STRUCTURE	POOL WIDTH	POOL LENGTH	RIP-RAP SIZE
1	101.25	99.00	101.15	45'	70'	9"



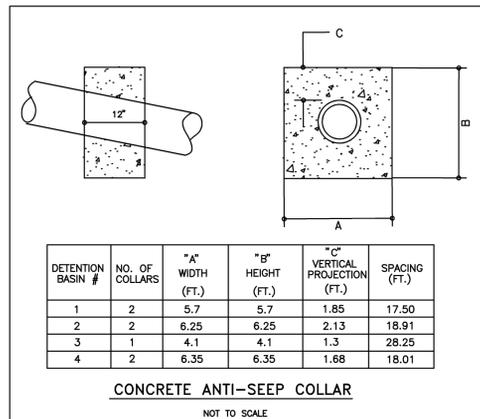
COLUMBIA CASCADE COMPANY
Makers of TimberForm® PipeLine®
TimberForm®-2 and CycLoops® Products.
1975 S.W. Fifth Avenue Telephone 503/223-1157
Portland, Oregon 97201-5293 Facsimile 503/223-4530
U.S.A.

File: **TIMBERFORM RESTORATION MODEL NO. 2107 LITTER CONTAINER**

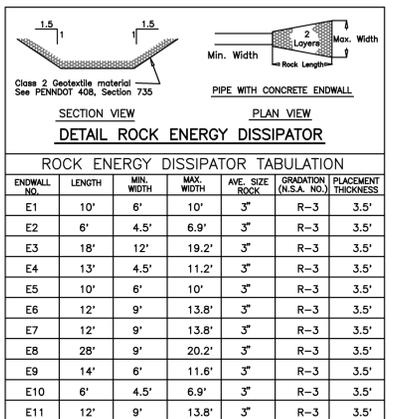


COLUMBIA CASCADE COMPANY
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1975 S.W. Fifth Avenue Telephone 503/223-1157
Portland, Oregon 97201-5293 Facsimile 503/223-4530
U.S.A.

File: **TIMBERFORM GREENWAY MODEL NO. 2140-B CONTOUR BENCH**

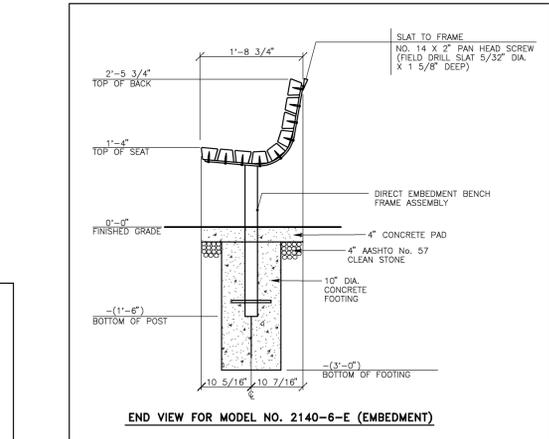
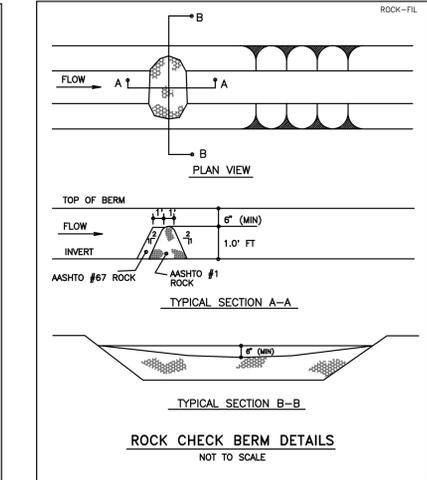
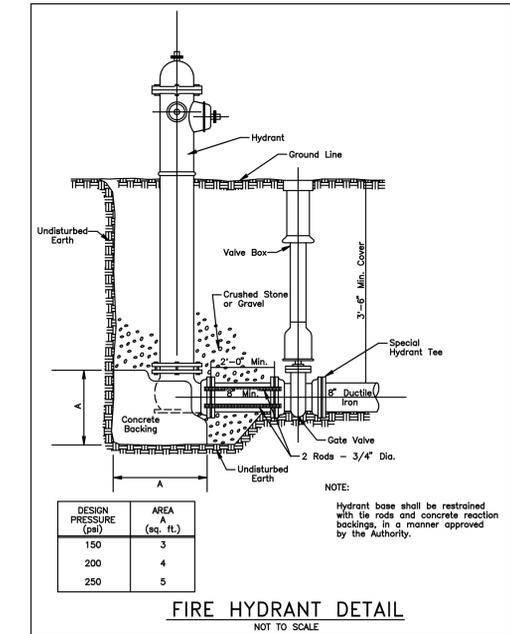
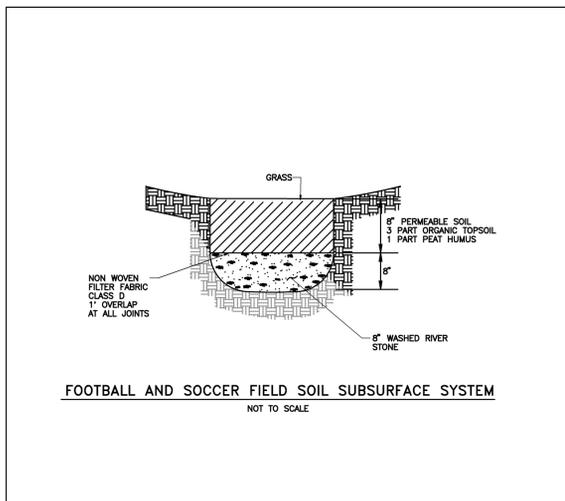
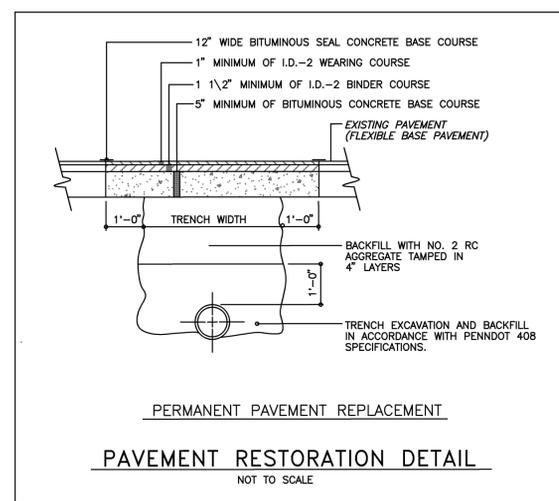


DETENTION BASIN #	NO. OF COLLARS	"A" WIDTH (FT.)	"B" HEIGHT (FT.)	"C" VERTICAL PROJECTION (FT.)	SPACING (FT.)
1	2	5.7	5.7	1.85	17.50
2	2	6.25	6.25	2.13	18.91
3	1	4.1	4.1	1.3	28.25
4	2	6.35	6.35	1.68	18.01



ROCK ENERGY DISSIPATOR TABULATION

ENDWALL NO.	LENGTH	MIN. WIDTH	MAX. WIDTH	AVE. SIZE ROCK	GRADATION (N.S.A. NO.)	PLACEMENT THICKNESS
E1	10'	6'	10'	3"	R-3	3.5'
E2	6'	4.5'	6.9'	3"	R-3	3.5'
E3	18'	12'	19.2'	3"	R-3	3.5'
E4	13'	4.5'	11.2'	3"	R-3	3.5'
E5	10'	6'	10'	3"	R-3	3.5'
E6	12'	9'	13.8'	3"	R-3	3.5'
E7	12'	9'	13.8'	3"	R-3	3.5'
E8	28'	9'	20.2'	3"	R-3	3.5'
E9	14'	6'	11.6'	3"	R-3	3.5'
E10	6'	4.5'	6.9'	3"	R-3	3.5'
E11	12'	9'	13.8'	3"	R-3	3.5'



**PRELIMINARY PLAN
DETAIL SHEET**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

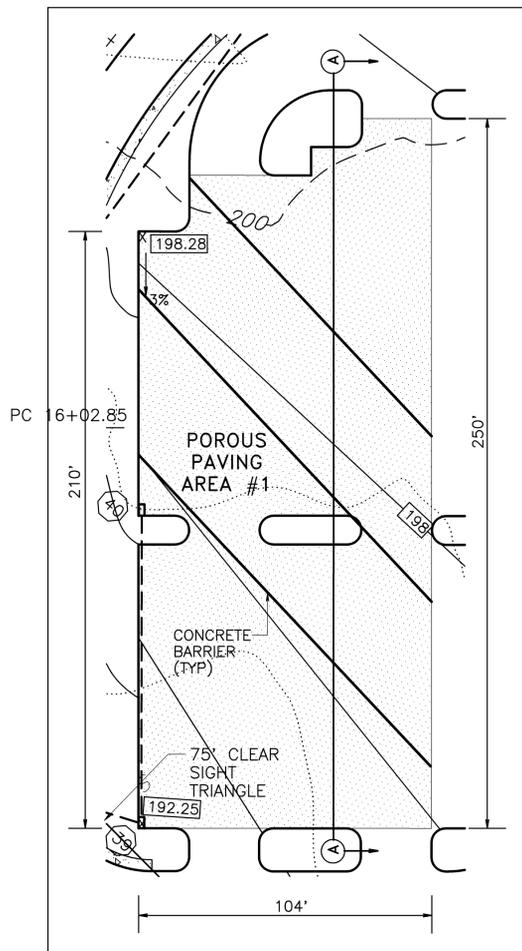
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

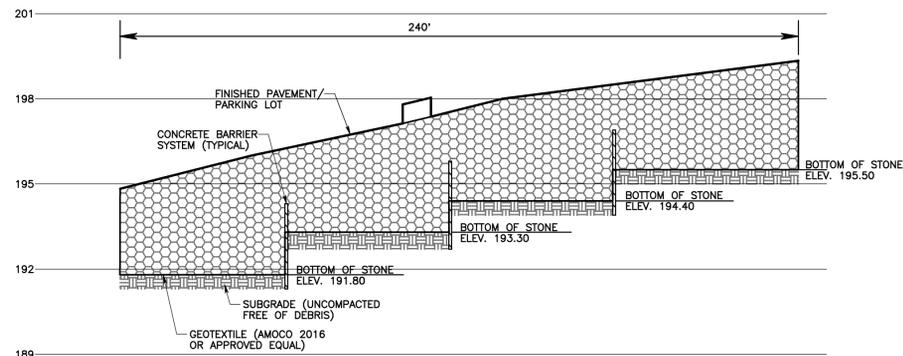
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- N/A
Drawn- SLM
Checked- A.J.B.
Sheet- 56 OF 63

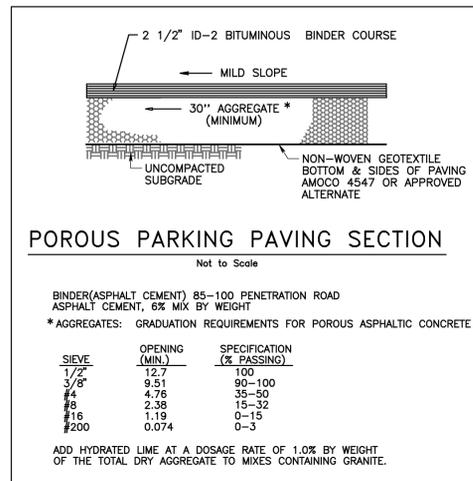
Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.pro Ver.- 000



PLAN VIEW
 POROUS PAVING AREA #1
 SCALE: 1"=30'



POROUS PAVING AREA #1
 SCALE: H. 1"=30'
 V. 1"=3'



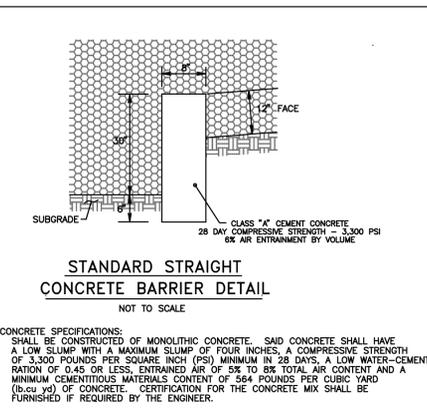
POROUS PARKING PAVING SECTION
 Not to Scale

BINDER (ASPHALT CEMENT) 85-100 PENETRATION ROAD ASPHALT CEMENT, 6% MIX BY WEIGHT

* AGGREGATES: GRADUATION REQUIREMENTS FOR POROUS ASPHALTIC CONCRETE

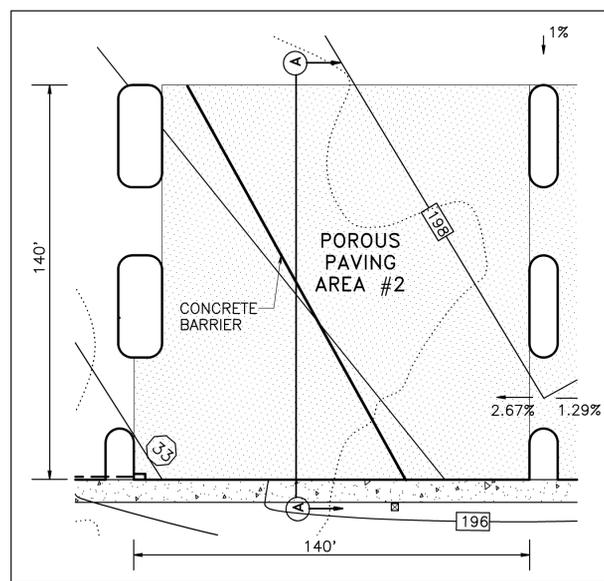
SIEVE	OPENING (MIN.)	SPECIFICATION (% PASSING)
1/2"	12.7	100
3/8"	9.51	90-100
#4	4.76	35-50
#8	2.38	15-32
#16	1.19	0-15
#200	0.074	0-3

ADD HYDRATED LIME AT A DOSAGE RATE OF 1.0% BY WEIGHT OF THE TOTAL DRY AGGREGATE TO MIXES CONTAINING GRANITE.

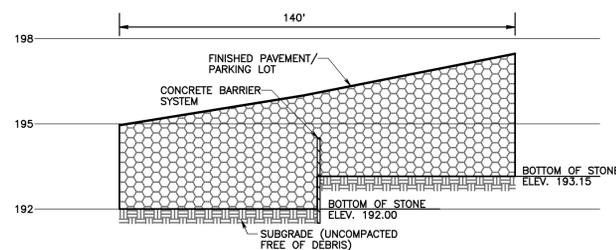


STANDARD STRAIGHT CONCRETE BARRIER DETAIL
 NOT TO SCALE

CONCRETE SPECIFICATIONS:
 SHALL BE CONSTRUCTED OF MONOLITHIC CONCRETE. SAID CONCRETE SHALL HAVE A LOW SLUMP WITH A MAXIMUM SLUMP OF FOUR INCHES. A COMPRESSIVE STRENGTH OF 3,300 POUNDS PER SQUARE INCH (PSI) MINIMUM IN 28 DAYS. A LOW WATER-CEMENT RATIO OF 0.45 OR LESS. ENTRAINED AIR OF 5% TO 8% TOTAL AIR CONTENT AND A MINIMUM CEMENTITIOUS MATERIALS CONTENT OF 564 POUNDS PER CUBIC YARD (lb.cu.yd) OF CONCRETE. CERTIFICATION FOR THE CONCRETE MIX SHALL BE FURNISHED IF REQUIRED BY THE ENGINEER.



PLAN VIEW
 POROUS PAVING AREA #2
 SCALE: 1"=30'



POROUS PAVING AREA #2
 SCALE: H. 1"=30'
 V. 1"=3'

PRELIMINARY PLAN
 DETAIL SHEET

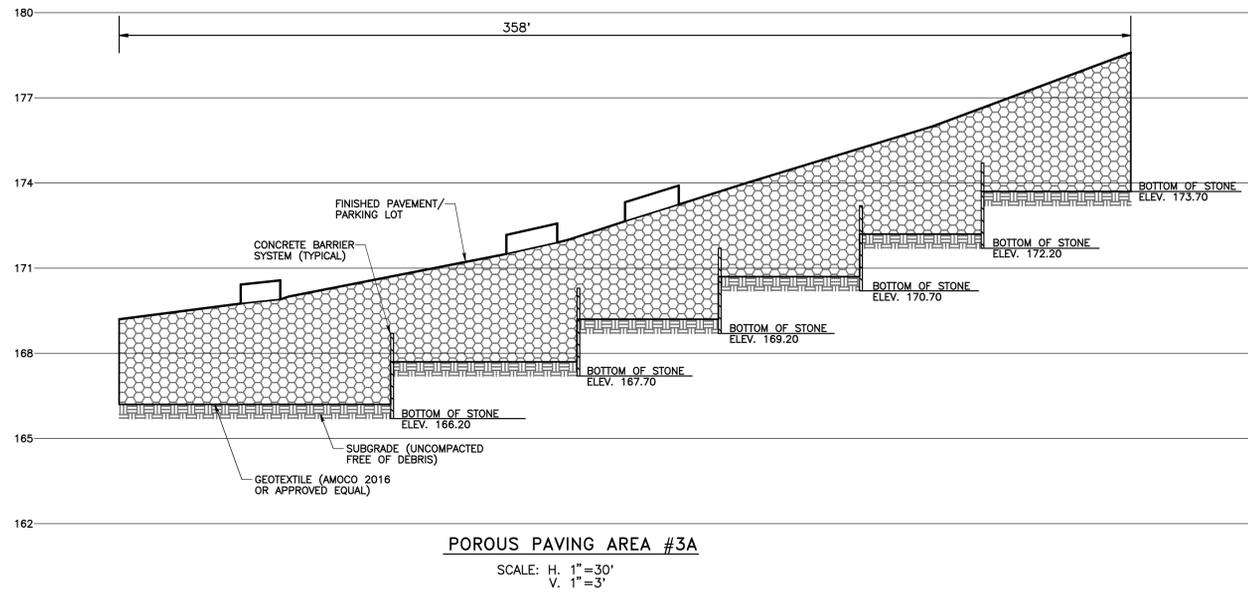
LAND DEVELOPMENT PLAN
 FOR
WESTOVER SPORTING COMPLEX
 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS

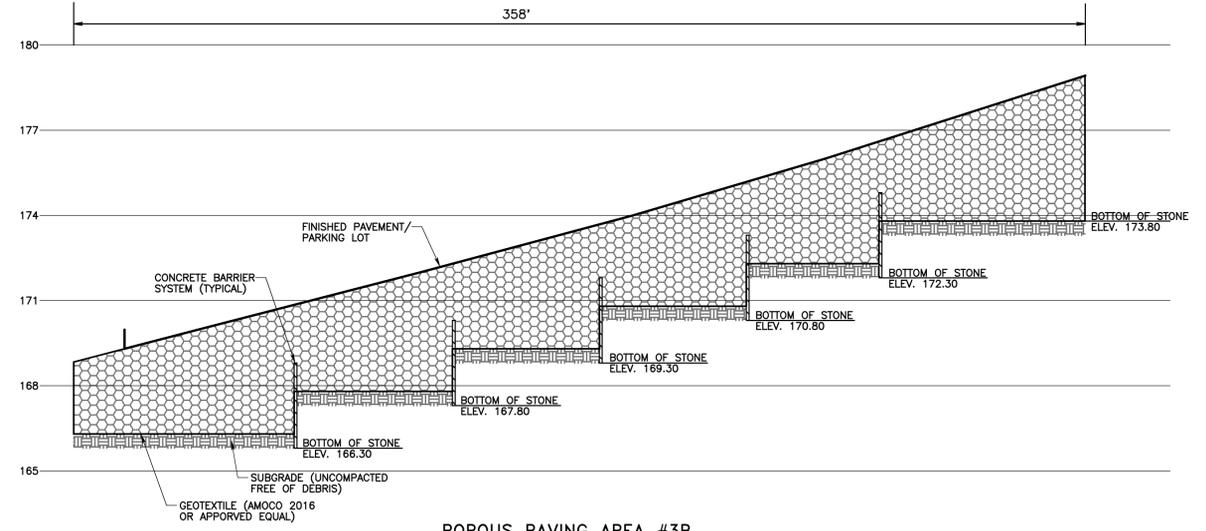
LIONVILLE PROFESSIONAL CENTER
 125 Dowlin Forge Road
 Exton, Pennsylvania 19341
 Phone (610) 903-0060
 Fax (610) 903-0080

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 Sheet- 57 OF 63

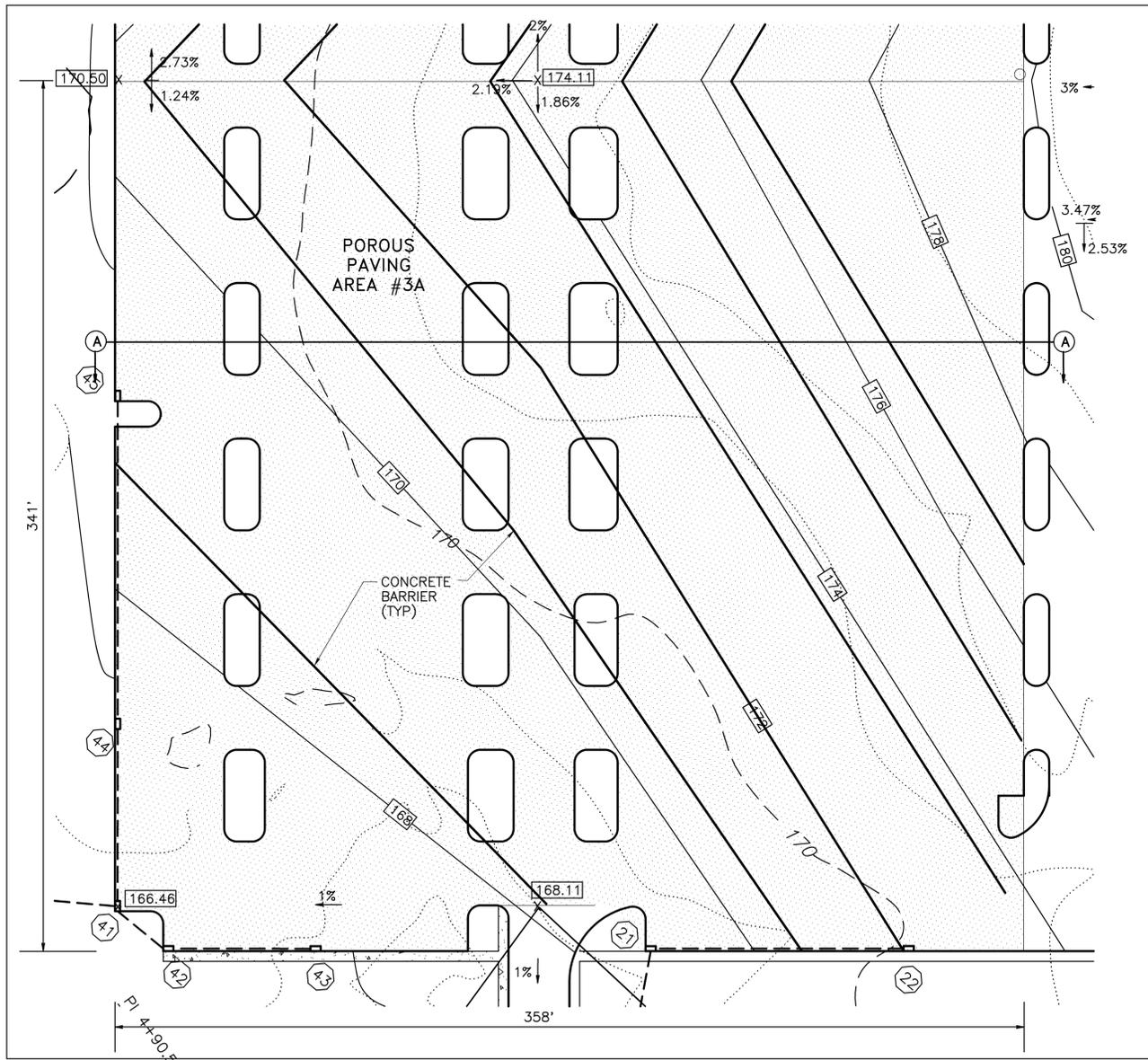
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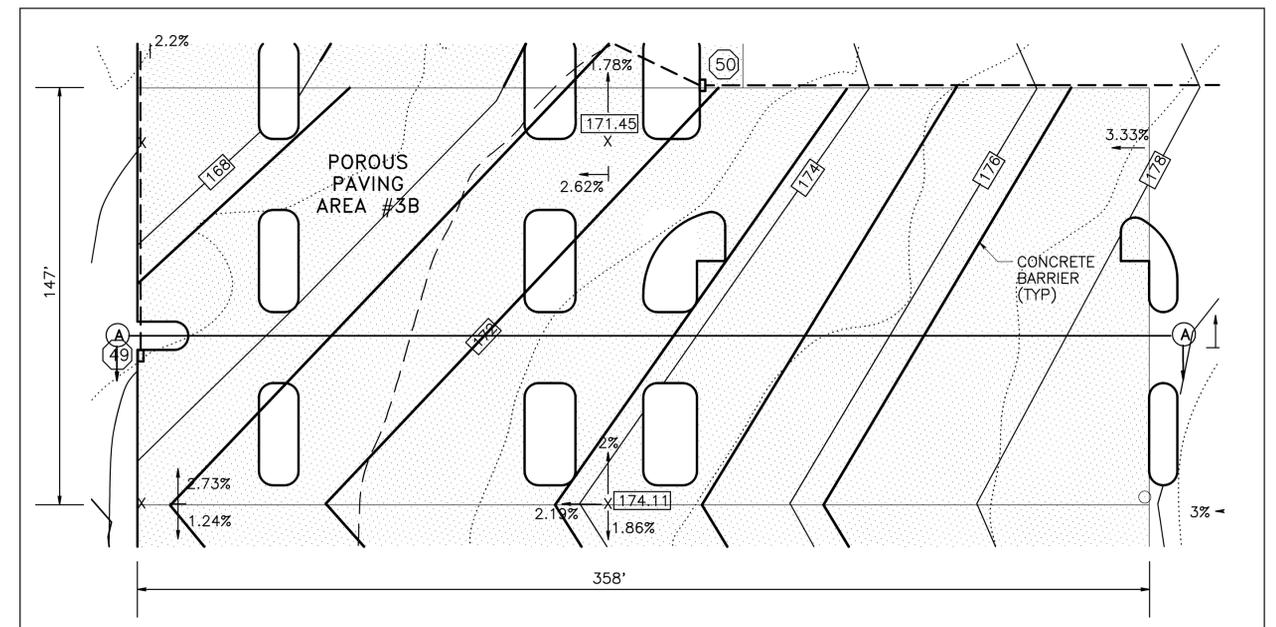
POROUS PAVING AREA #3A
SCALE: H. 1"=30'
V. 1"=3'



POROUS PAVING AREA #3B
SCALE: H. 1"=30'
V. 1"=3'



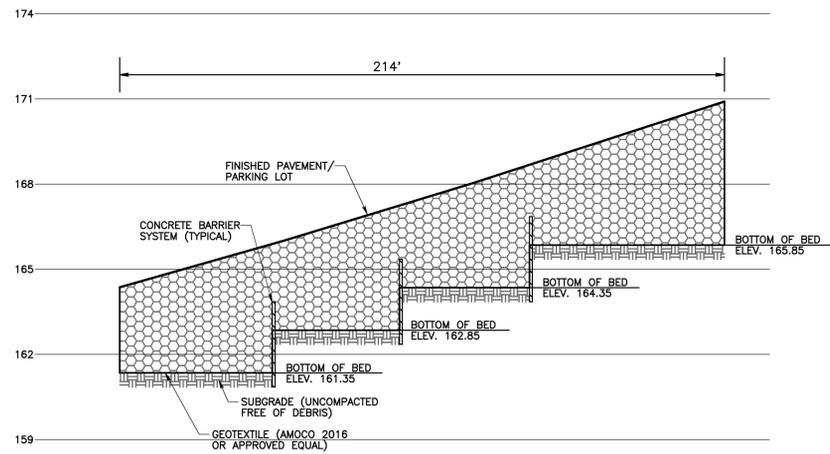
PLAN VIEW
POROUS PAVING AREA #3A
SCALE: 1"=30'



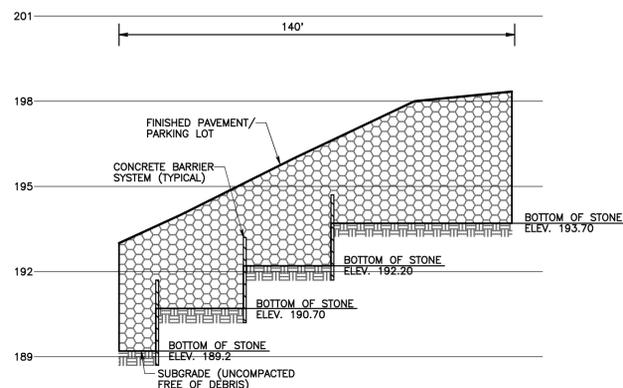
PLAN VIEW
POROUS PAVING AREA #3B
SCALE: 1"=30'

**PRELIMINARY PLAN
DETAIL SHEET**

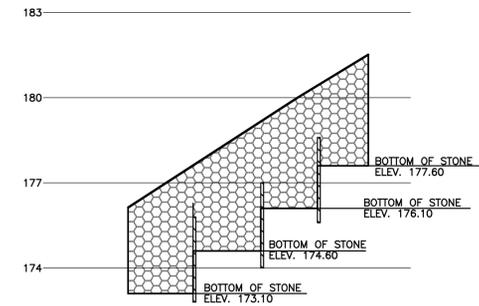
LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX	
WEST NORRITON TOWNSHIP	MONTGOMERY COUNTY, PA.
Edward B. Walsh & Associates, Inc.	
CIVIL ENGINEERS & SURVEYORS	Project- 2769
LIONVILLE PROFESSIONAL CENTER 125 Dowlin Forge Road Eaton, Pennsylvania 19341 Phone (610) 903-0060 Fax (610) 903-0080	Date- 12-23-14
	Scale- AS NOTED
	Drawn- SLM
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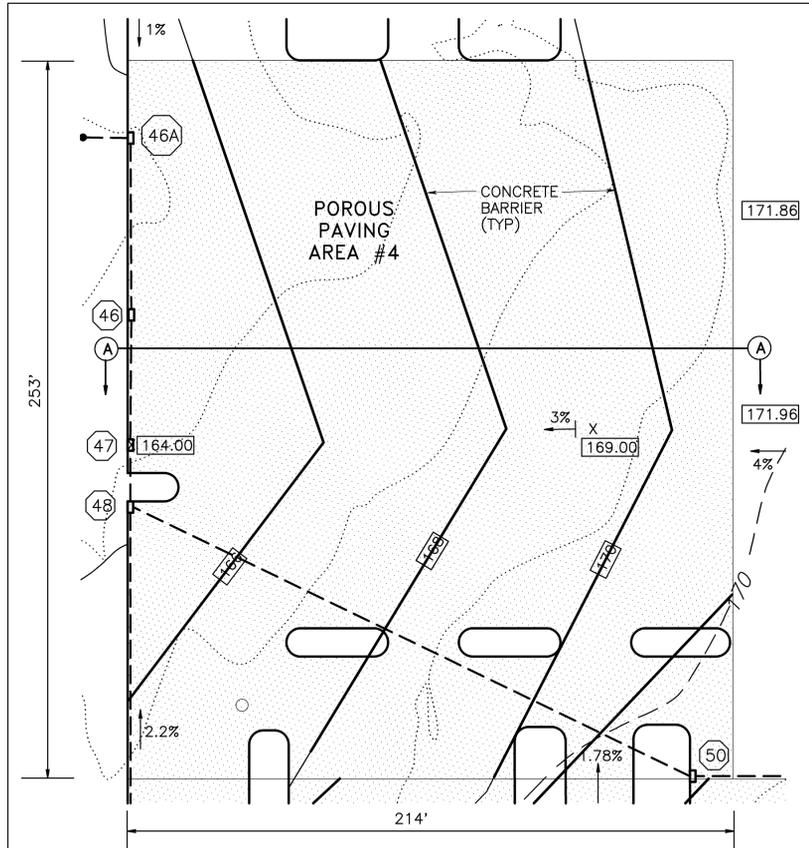
POROUS PAVING AREA #4
SCALE: H. 1"=30'
V. 1"=3'



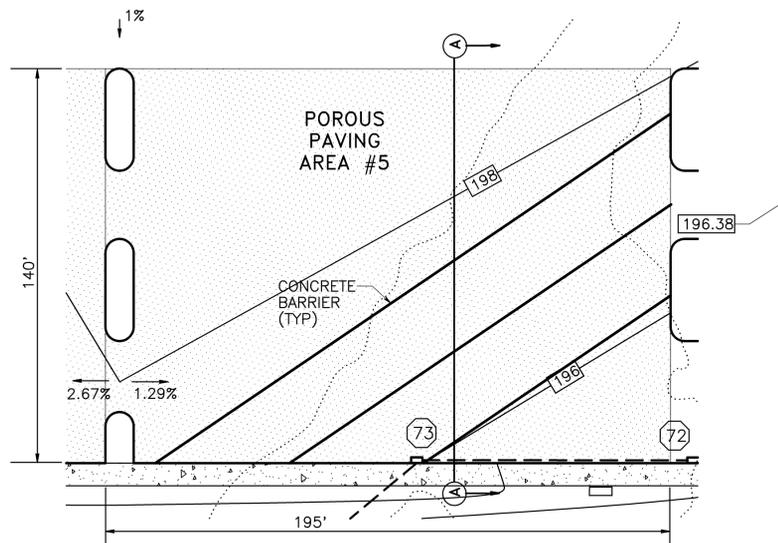
POROUS PAVING AREA #5
SCALE: H. 1"=30'
V. 1"=3'



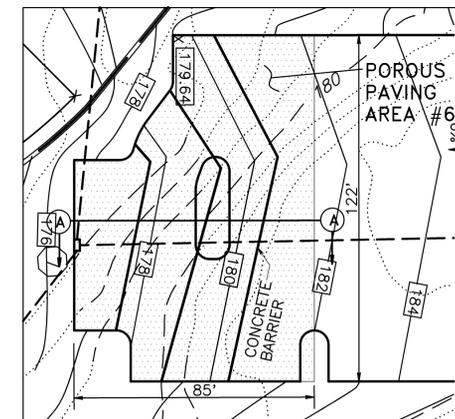
POROUS PAVING AREA #6
SCALE: H. 1"=30'
V. 1"=3'



**PLAN VIEW
POROUS PAVING AREA #4**
SCALE: 1"=30'



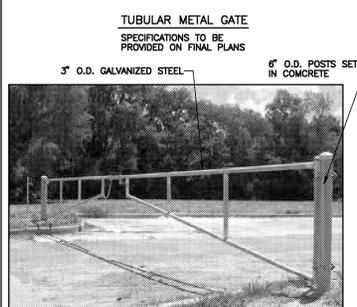
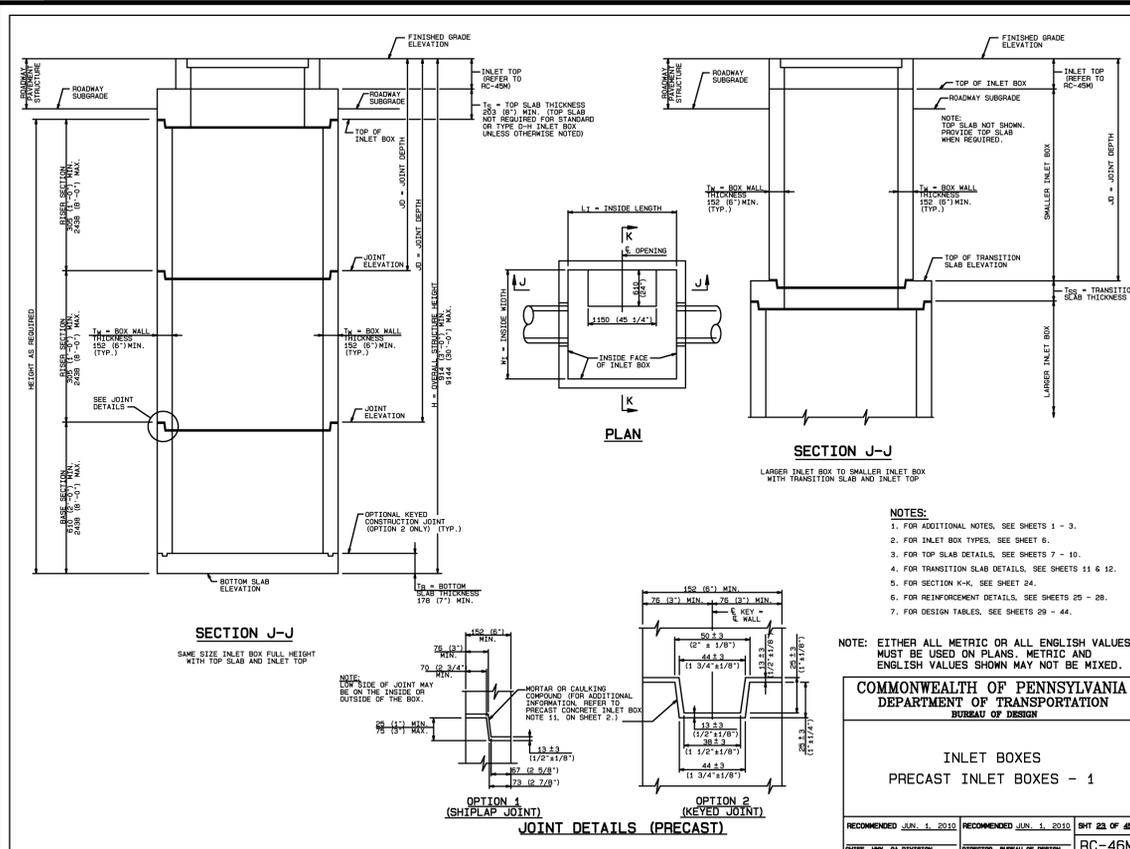
**PLAN VIEW
POROUS PAVING AREA #5**
SCALE: 1"=30'



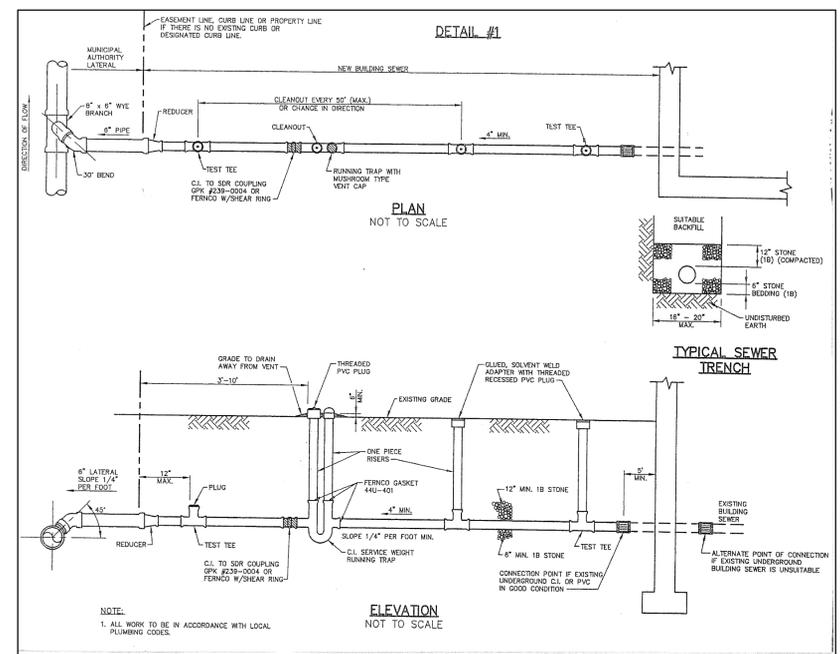
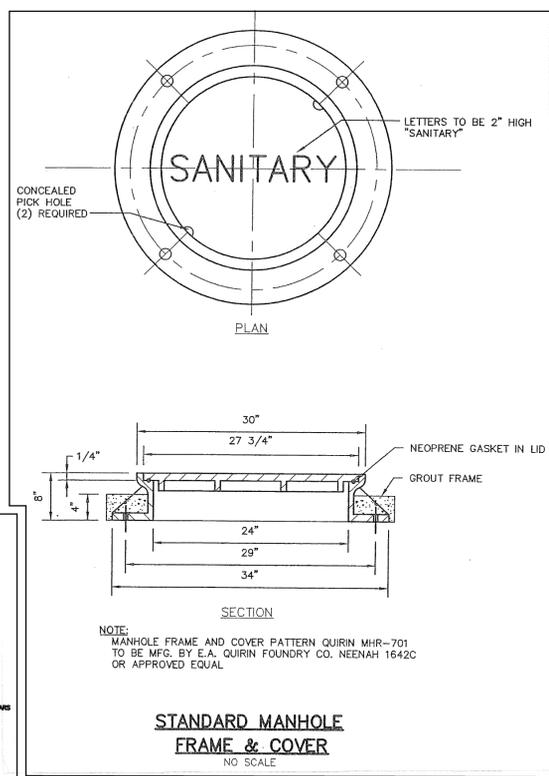
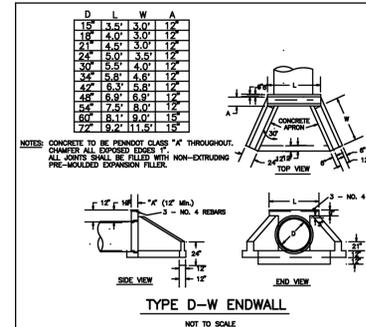
**PLAN VIEW
POROUS PAVING AREA #6**
SCALE: 1"=30'

**PRELIMINARY PLAN
DETAIL SHEET**

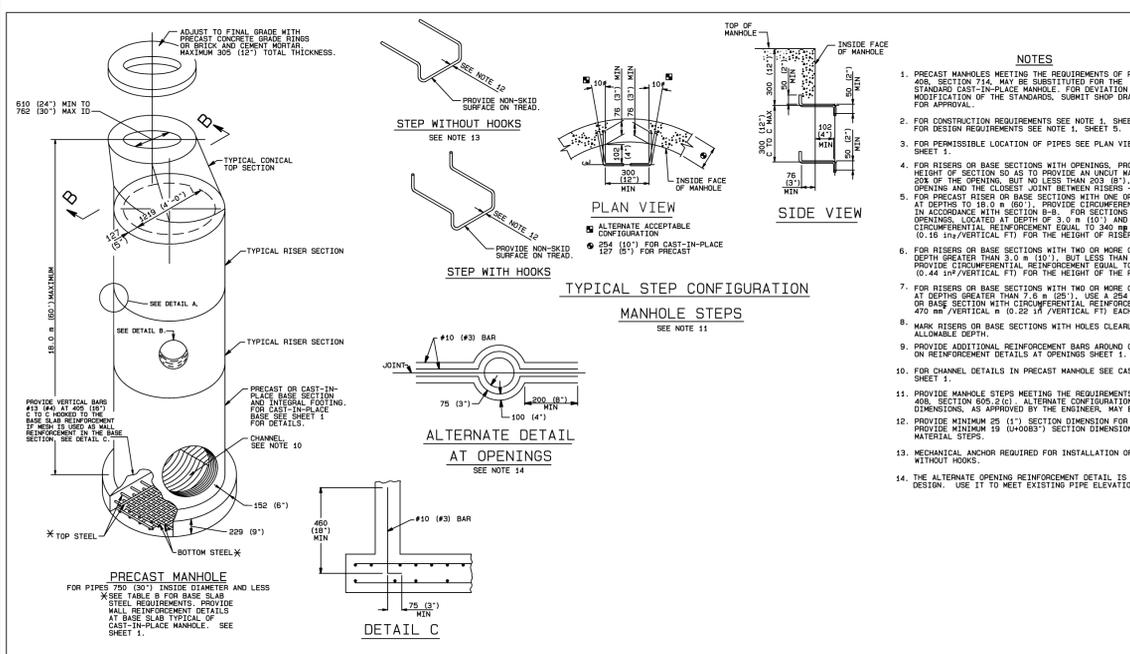
LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX	
WEST NORRITON TOWNSHIP	MONTGOMERY COUNTY, PA.
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CIVIL ENGINEERS & SURVEYORS	
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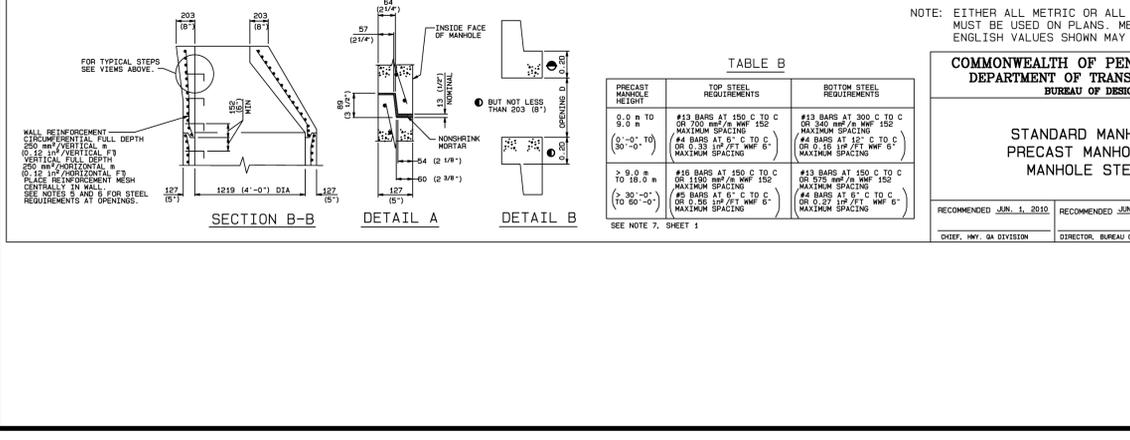
TUBULAR METAL GATE
SPECIFICATIONS TO BE PROVIDED ON FINAL PLANS



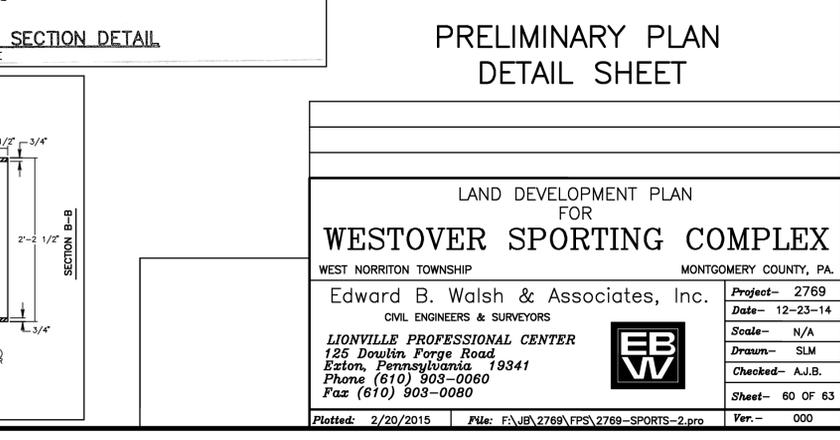
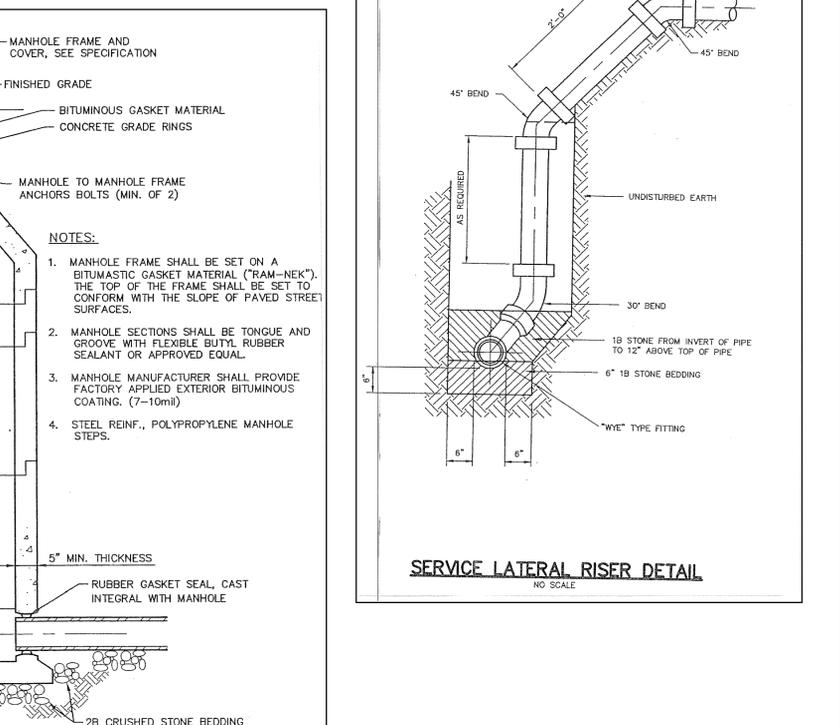
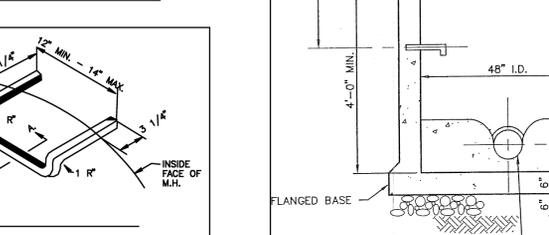
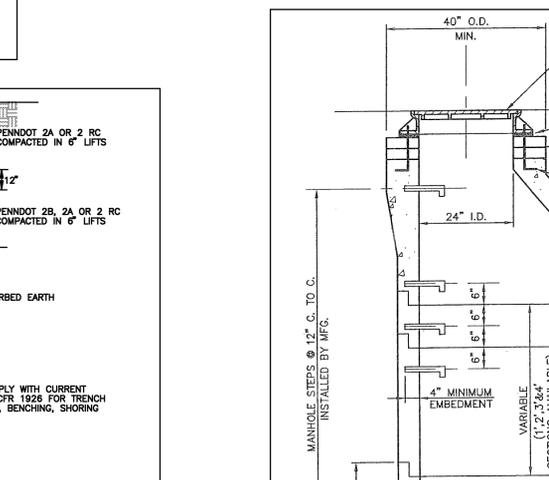
BUILDING SEWER CONNECTION
(SDR SYSTEM SHOWN)



- NOTES:**
1. PRECAST MANHOLES MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 714, MAY BE SUBSTITUTED FOR THE STANDARD CAST-IN-PLACE MANHOLE. FOR DEVIATION OR MODIFICATION OF THE STANDARDS, SUBMIT SHOP DRAWINGS FOR APPROVAL.
 2. FOR CONSTRUCTION REQUIREMENTS SEE NOTE 1, SHEET 1.
 3. FOR PERMISSIBLE LOCATION OF PIPES SEE PLAN VIEW AND NOTE 3, SHEET 1.
 4. FOR RISERS OR BASE SECTIONS WITH OPENINGS, PROVIDE A MINIMUM HEIGHT OF SECTION 50.45 TO PROVIDE AN UNOBT. WALL, EQUAL TO 20% OF THE OPENING, BUT NO LESS THAN 203 (8\"). BETWEEN THE OPENING AND THE CLOSEST JOINT BETWEEN RISERS. (SEE DETAIL B).
 5. FOR PRECAST RISER OR BASE SECTIONS WITH ONE OPENING LOCATED AT DEPTHS TO 10.0 (10\"). PROVIDE CIRCUMFERENTIAL REINFORCEMENT IN ACCORDANCE WITH SECTION B-8. FOR SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT DEPTHS TO 3.0 (3\"). AND LESS, PROVIDE CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 34% THE VERTICAL # 0.15 (1/4\"/>



- NOTES:**
- NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.
- COMMONWEALTH OF PENNSYLVANIA**
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN
- STANDARD MANHOLES & PRECAST MANHOLES & MANHOLE STEPS**
- RECOMMENDED JUN. 1, 2010 SHEET 3 OF 6
 CHIEF, INV. & DIVISION DIRECTOR, BUREAU OF DESIGN RC-39M



LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX

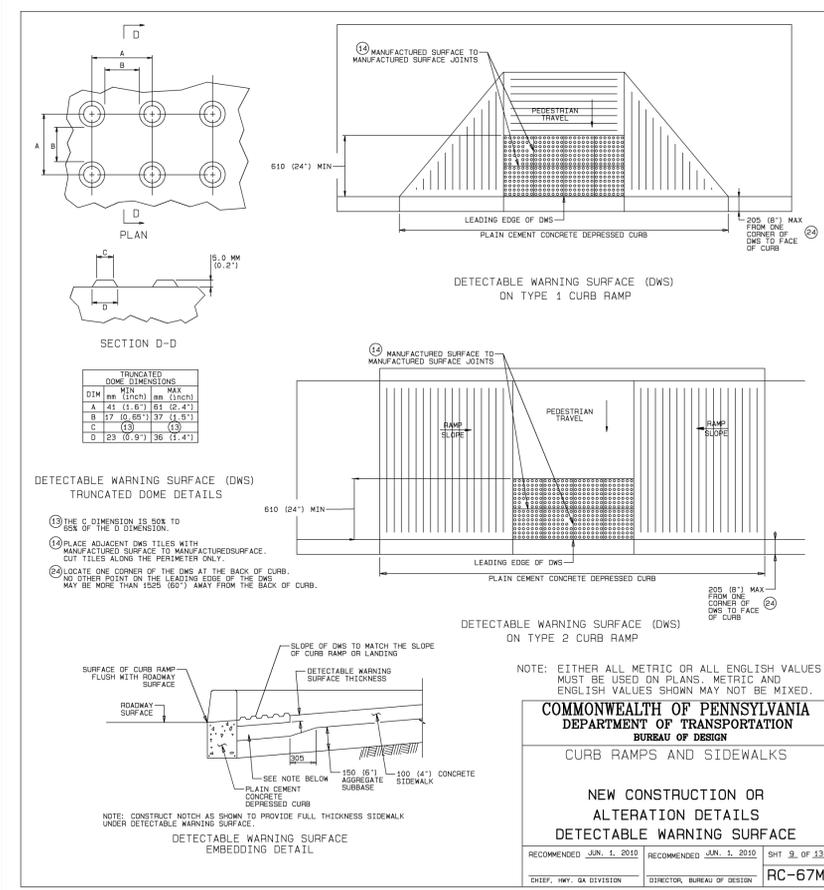
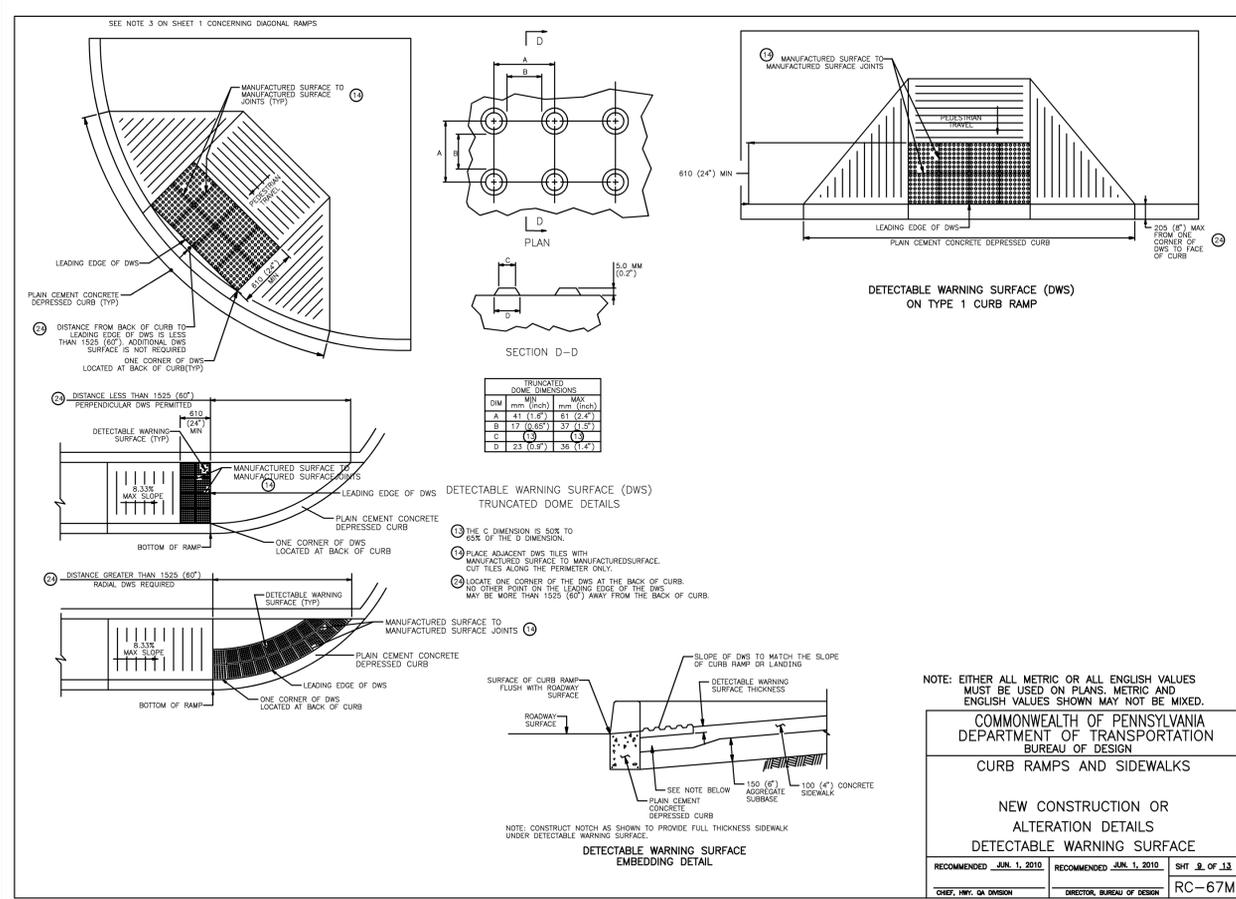
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

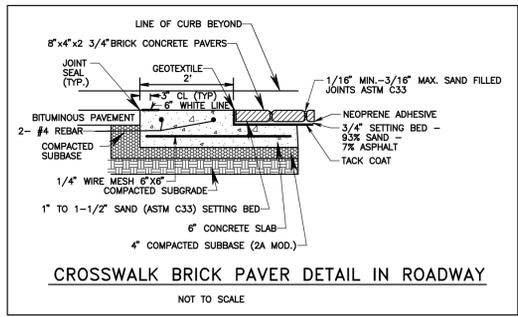
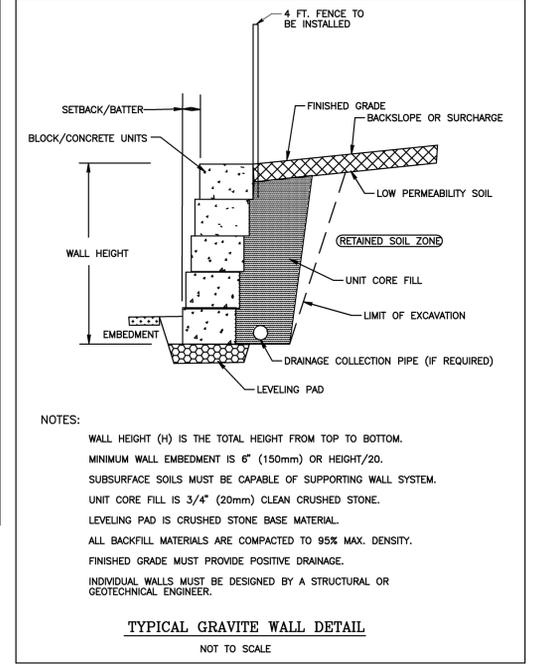
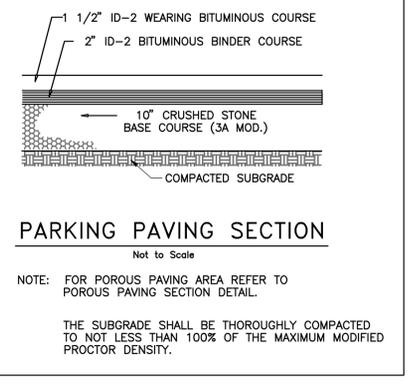
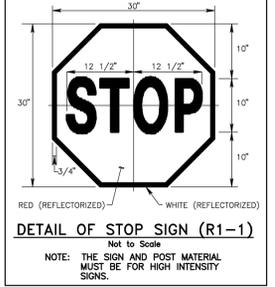
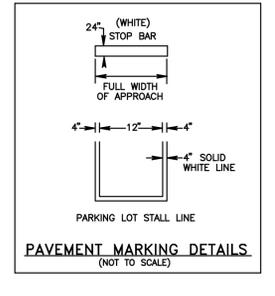
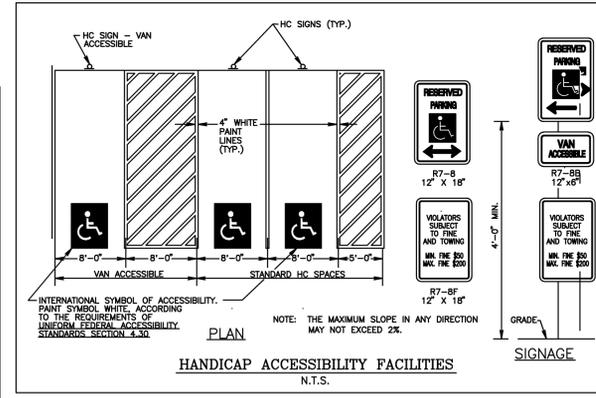
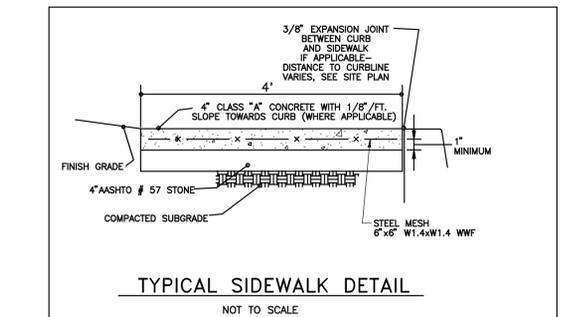
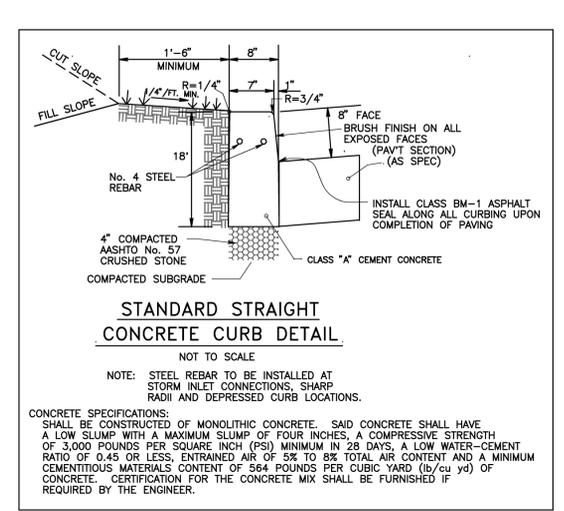
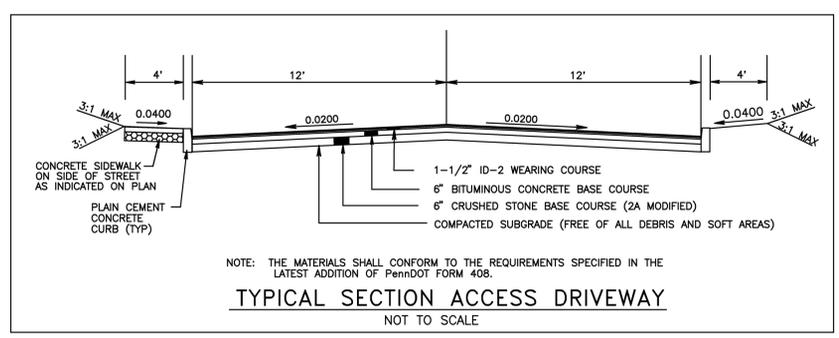
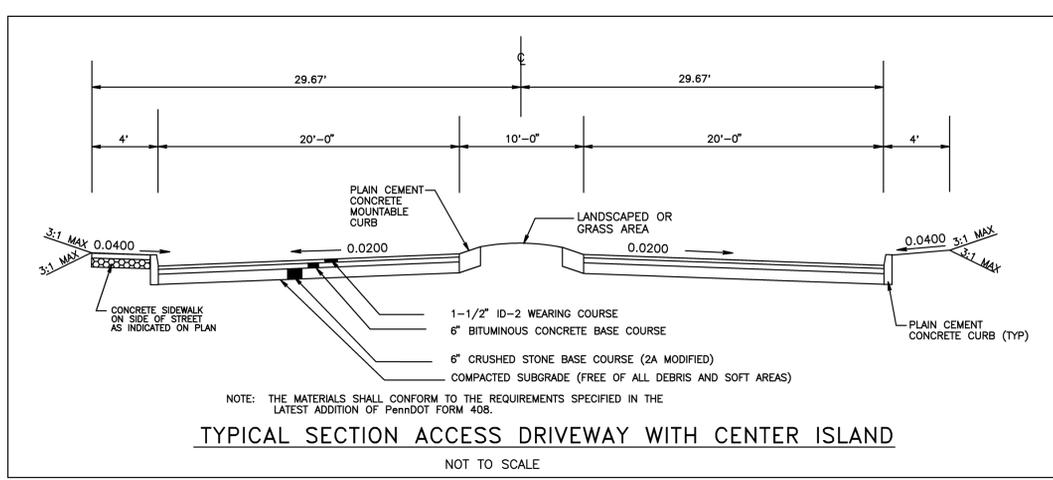
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Checked- A.J.B.
Sheet- 60 OF 63

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NOTES

- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676 AND 694.
- PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJACENT TO SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
- CONSTRUCT DIAGONAL CURB RAMPS WITH A 1220 (4'-0") CLEARSPACE OUTSIDE OF TRAVEL LANES AT THE BOTTOM OF THE RAMP. IF DIAGONAL CURB RAMPS ARE PROVIDED AT MARKED CROSSINGS, THE 1220 (4'-0") CLEAR SPACE IS LOCATED WITHIN THE MARKINGS AND OUTSIDE OF THE TRAVEL LANES. SEE SHEET 7 FOR CROSSWALK DETAILS.
- SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
- MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 200 (8") HEIGHT.
- CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
- IT MAY BE NECESSARY TO LIMIT THE RUN OF A PARALLEL OR PERPENDICULAR CURB RAMP IN ORDER TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB. RAMP LENGTH NOT TO EXCEED 4500 (15'-0"). ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT POSSIBLE.
- MEASURE AND PAY FOR DEPRESSED CURB IN ACCORDANCE WITH SECTION 630.4.
- THE DETAILS DEPICT PEDESTRIAN PUSH BUTTON POLES TO ILLUSTRATE THE PREFERRED PLACEMENT OF PEDESTRIAN PUSH BUTTONS. PEDESTRIAN PUSH BUTTONS ARE TO BE INSTALLED WHERE APPLICABLE.
- CONSTRUCT BUILT-UP CURB RAMP OF BITUMINOUS MATERIAL AS INDICATED, INCLUDING SURFACE PREPARATION AND TACK COAT, AS REQUIRED.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
- PROVIDE DETECTABLE WARNING SURFACES (DWS) 610 (24") MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
- FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR ACCESSIBLE ROUTE.
- FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
- THE IMMEDIATE ADJOINING SURFACE AT THE BOTTOM AND TOP OF CURB RAMPS IS NOT TO EXCEED 1.70% PROFILE SLOPE WHEN LOCATED ADJACENT TO THE ROADWAY. IN AREAS WHERE THE ADJOINING SURFACE IS NOT ADJACENT TO THE ROADWAY, THE LONGITUDINAL SLOPE IS NOT TO EXCEED 5.00%. FOR ALL LOCATIONS DO NOT EXCEED 2.00% CROSS SLOPE. FOR LOCATIONS THAT REQUIRE A TURNING MANUEVER, THE MAXIMUM SLOPE IS 2.00% IN ALL DIRECTIONS. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 11.00%. SEE SHEET 8 FOR DETAILS.
- THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
- ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 150 (6") CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 1800 (6'-0") FOR A 12:1 (1:12) SLOPE.
- SIDEWALK WIDTH MAY BE REDUCED TO 1220 (4'-0") WHEN PASSING AREAS 1525 X 1525 (5'-0" X 5'-0") ARE PROVIDED EVERY 61 METERS (202').
- THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
- DEPRESSED CURB FOR CURB RAMPS MUST BE FLUSH TO ADJACENT ROADWAY. EDGE OF ROAD ELEVATIONS AT THE FLOW LINE SHALL BE GRADIENT TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING.



NOTES:
 1/2" EXPANSION JOINTS MUST BE PROVIDED AT 20' C. TO C. (MAX) AND THAT TRANSVERSE CONTROL JOINTS MUST BE PROVIDED AT 5' C. TO C. (MAX). THE SUBGRADE SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 100% OF THE MAXIMUM MODIFIED PROCTOR DENSITY.

CONCRETE SPECIFICATIONS:
 SHALL BE CONSTRUCTED OF MONOLITHIC CONCRETE. SAID CONCRETE SHALL HAVE A LOW SLUMP WITH A MAXIMUM SLUMP OF FOUR INCHES, A COMPRESSIVE STRENGTH OF 4,000 POUNDS PER SQUARE INCH (PSI) IN 28 DAYS, A LOW WATER-CEMENT RATIO OF 0.45 OR LESS, ENTRAINED AIR OF 5% TO 8% TOTAL AIR CONTENT AND A MINIMUM CEMENTITIOUS MATERIALS CONTENT OF 564 POUNDS PER CUBIC YARD (lb/cu yd) OF CONCRETE. CERTIFICATION FOR THE CONCRETE MIX SHALL BE FURNISHED IF REQUIRED BY THE ENGINEER.

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NOTES:
 FOR POROUS PAVING AREA REFER TO POROUS PAVING SECTION DETAIL.

THE SUBGRADE SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 100% OF THE MAXIMUM MODIFIED PROCTOR DENSITY.

PRELIMINARY PLAN DETAIL SHEET

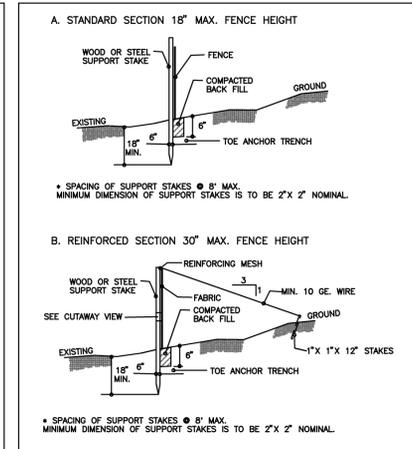
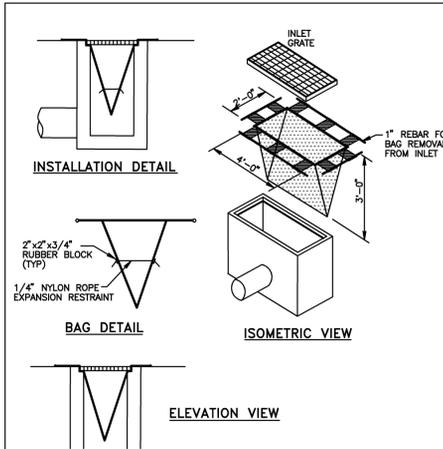
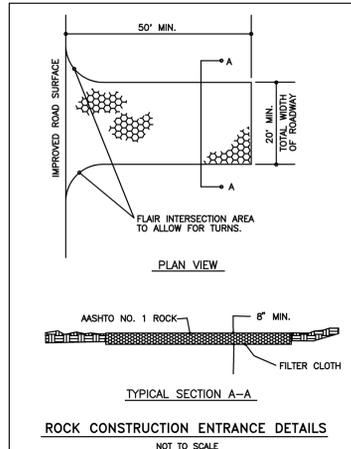
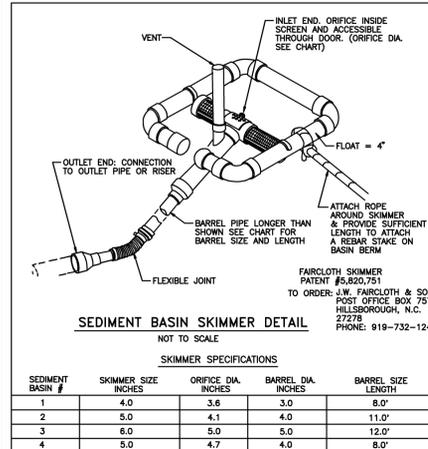
LAND DEVELOPMENT PLAN FOR
WESTOVER SPORTING COMPLEX

WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS

Project- 2769
Date- 12-23-14
Scale- N/A
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Checked- A.J.B.
Sheet- 61 OF 63

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GENERAL NOTES

- Should any measures contained within this plan prove incapable of adequately removing sediment from on-site flows prior to discharge or of stabilizing the surfaces involved, additional measures must be immediately implemented by the developer to eliminate all such problems.
- Only limited upslope disturbance will be permitted to provide access to sediment traps and erosion control devices for grading and acquiring borrow to construct these controls.
- Erosion and sedimentation controls must be installed, stabilized, and functional before general site disturbance within the tributary areas of these controls.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the controls must be stabilized.
- Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each storm event and on a weekly basis. All preventive and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, re-mulching, and renetting must be performed immediately.
- The developer is advised to become thoroughly familiar with the provisions of Appendix 64, Erosion Control Rules and Regulations, Title 25, Part I, Department of Environmental Resources, Sub-Part C, Protection of Natural Resources, Article 11, Water Resources, Chapter 102, Erosion Control. A copy of this plan must be posted at the construction site implemented in accordance with state law.
- Limits of disturbance must be clearly marked in the field prior to disturbance. Any change or encroachment into these areas without Conservation District review and approval may require the developer to cease disturbance.
- The developer must develop and have approved by the County Conservation District, a separate erosion and sedimentation control plan for each spoil, borrow, or other work area not detailed in the approved plan, whether located within or outside the construction limits.
- Sediment must be removed when accumulations reach 1/2 above ground height of silt fencing.
- If any significant changes are to be made to the limits of disturbance or to the Erosion and Sediment Control Plan, the builder or landowner will contact the Montgomery County Conservation District at (610)489-4506 for adequacy of these changes.
- All areas requiring interim or final stabilization must be addressed immediately upon completion of disturbance. Areas utilizing vegetative stabilization must be seeded/planted and mulched immediately to germination by October 15 of each year. Seeding will be accomplished through the use of hydro-seeding techniques or conventional seeding and mulching at a rate of 3.0 tons per acre as recommended in the Penn State Agronomy Guide.

EROSION AND SEDIMENTATION CONTROL NOTES

- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE RULES AND REGULATIONS UNDER THE FEDERAL SEEDS ACT, IN EFFECT ON THE DATE OF INVITATION FOR BIDS, ALL SEED SHALL BE FURNISHED IN SEALED CONTAINERS, BEARING THE WORKMANSHIP OF THE SUPPLIER AND CERTIFYING AS TO THE KIND, PERCENT BY WEIGHT, Purity and Germination. The seeds shall contain the percentages of purity and germination indicated on the list furnished with the seeds. The seeds shall be certified by the U.S. Department of Agriculture at a rate of 4 lbs. per 1000 sq. ft. minimum for slopes 3:1 if greater, use 5 lbs. per 1000 sq. ft. for slopes 4:1 or steeper.
- PERMANENT SEEDING DATES MARCH 1 TO JUNE 1, AUGUST 1 TO OCTOBER 1
- GRASS SEED

NAME	PERCENT BY WEIGHT	PURITY	GERMINATION
Perennial Ryegrass	35%	95%	85%
Perennial Ryegrass	30%	95%	90%
Perennial Ryegrass	15%	90%	80%

- Mulch: Shall be hay which is free of weeds and seeds, not moldy or rotted, and shall be applied at all disturbed areas at a rate of 3 tons per acre.
- Kentucky Bluegrass Sod (if called for) Sod shall be grown under supervision of the Bureau of Plant Industry, Pennsylvania Department of Agriculture or shall be composed of only Blue Top Certified Seed.
- Temporary Seeding Dates: Anytime
- Temporary Seeding: Shall be annual ryegrass at 40 lbs. per acre. Site preparation - apply 1 ton of agricultural grade pulverized phosphate per acre of water and apply at a rate of 25 lbs/1000 sq. ft. and work where possible. Temporary seeding, mulch with hay or straw at a rate of 3 tons per acre.
- Hydroseeding: Shall be lime, fertilizer, grass seeds, legume seeds and inoculant applied at a rate of 1,000 gallons per acre. Fertilizer: mix at a rate of 50-100-100 per acre. Inoculant: use 5 times rate recommended on the package when seeding with a hydroseeder.
- PERMANENT SEEDING: For permanent seeding, soil supplements shall be applied to areas to be seeded as follows: 10-20-20 fertilizer shall be applied to 25 LBS/1000 Sq. Ft. pulverized dolomite limestone at 90 LBS/1000 Sq. Ft.

SEED MIX SPECIFICATIONS

1. Any undisturbed area on which activity has ceased must be seeded and mulched immediately. During non-germinating periods, mulch shall be applied at the rate of 3 tons per acre. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year must be seeded and mulched with a quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finished grade or will be redisturbed within 1 year must be seeded and mulched with a permanent seed mixture and mulch.

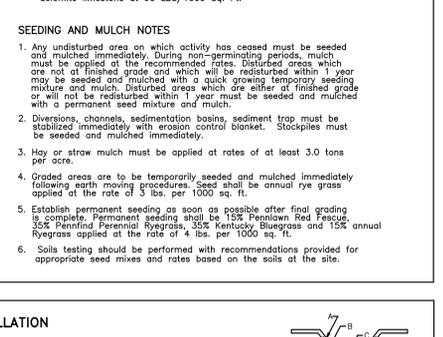
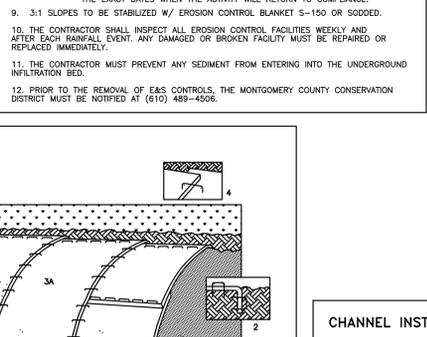
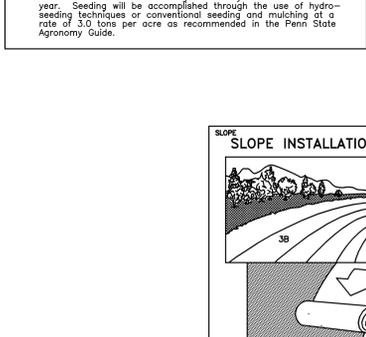
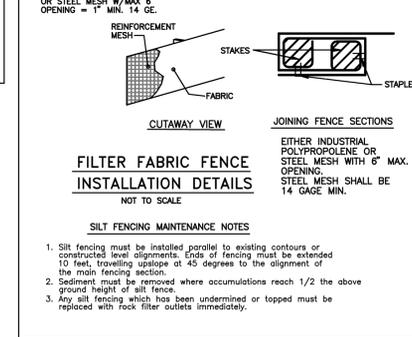
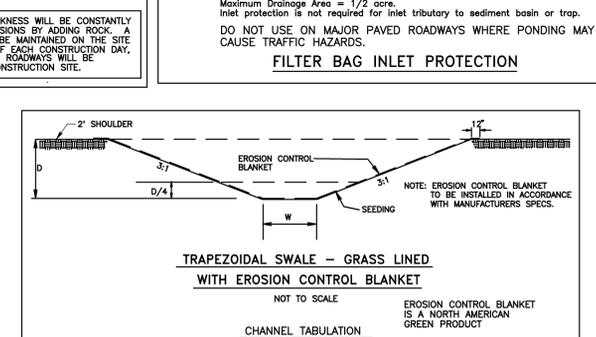
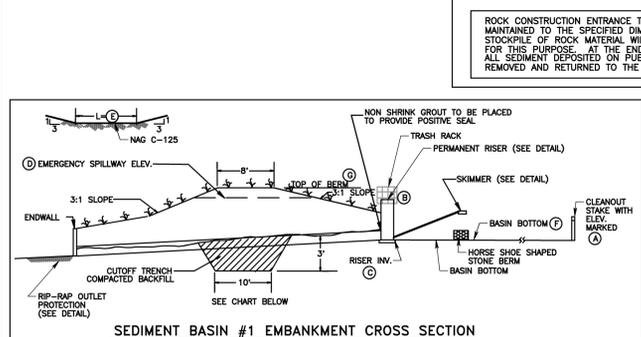
2. Diversion channels, sedimentation basins, sediment trap must be seeded and mulched immediately following earth moving procedures. Seed shall be annual ryegrass applied at the rate of 3 lbs. per 1000 sq. ft.

3. Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.

4. Graded areas to be temporarily seeded and mulched immediately following earth moving procedures. Seed shall be annual ryegrass applied at the rate of 3 lbs. per 1000 sq. ft.

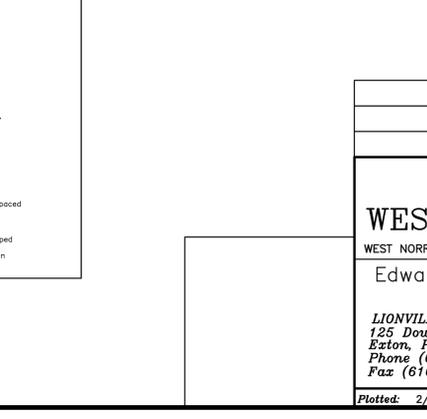
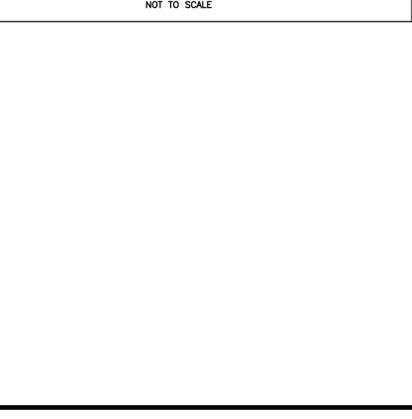
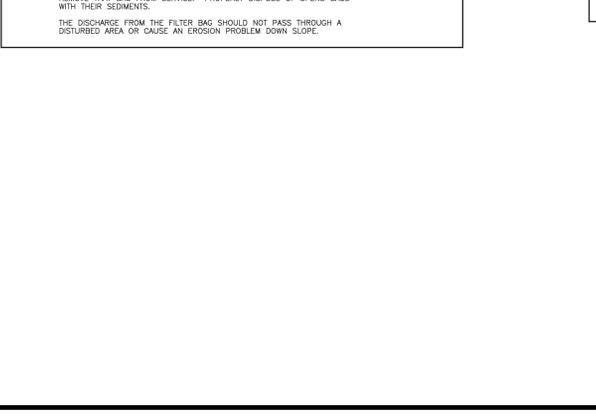
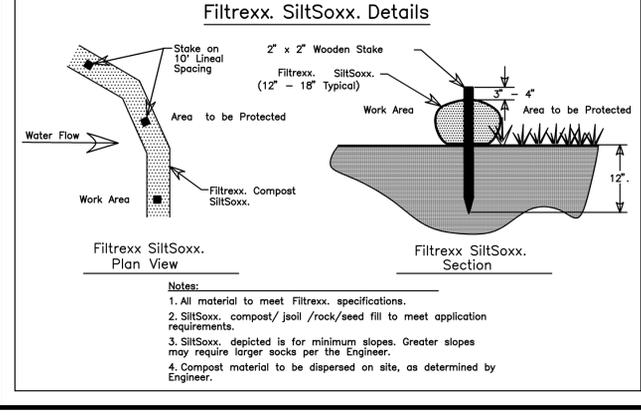
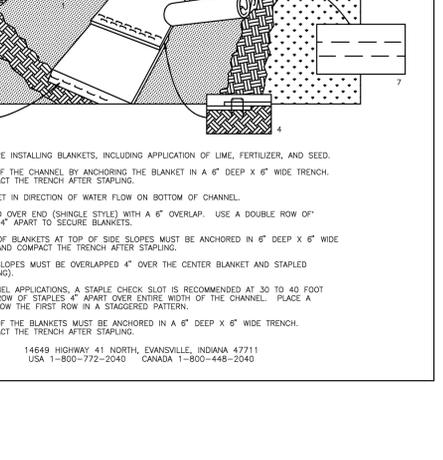
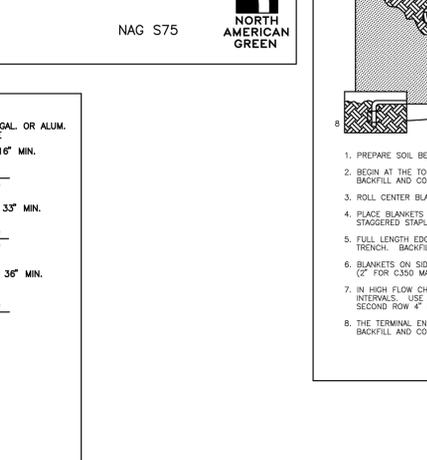
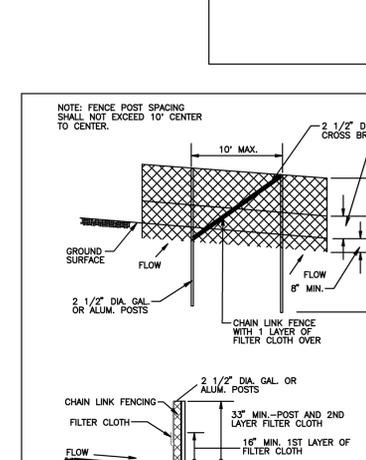
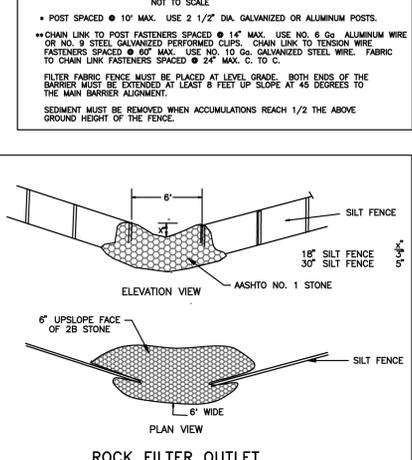
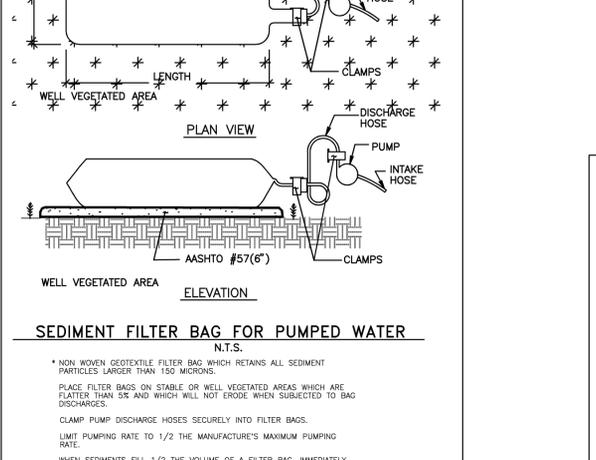
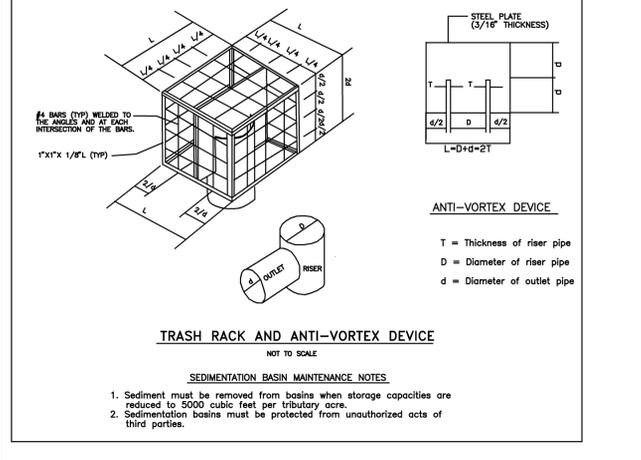
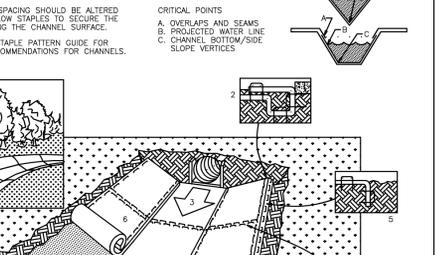
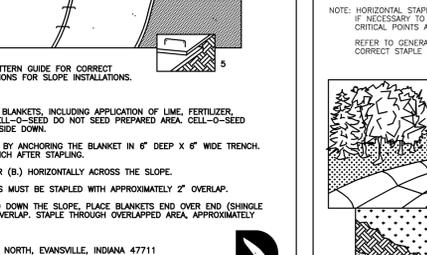
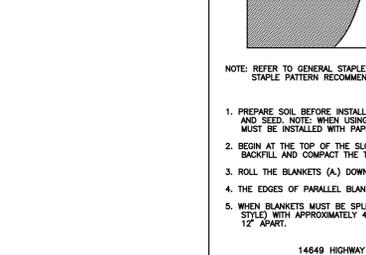
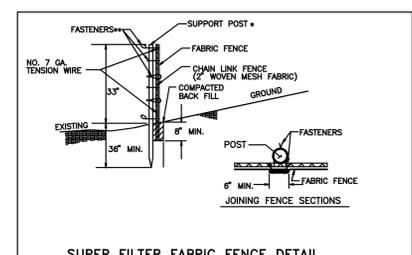
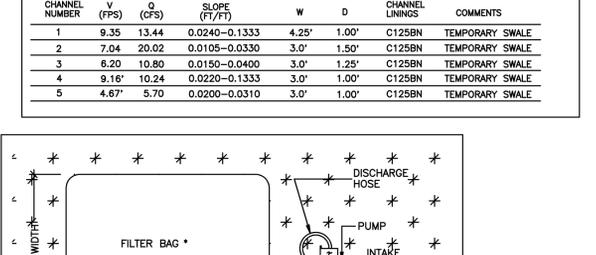
5. Establish permanent seeding as soon as possible after final grading is complete. Permanent seeding shall be 15% Perennial Ryegrass, 30% Perennial Ryegrass, 30% Kentucky Bluegrass and 15% annual Ryegrass applied at the rate of 4 lbs. per 1000 sq. ft.

6. Soils testing should be performed with recommendations provided for appropriate seed mixes and rates based on the soils at the site.



SEDIMENT STRUCTURE TABULATION

BASIN NUMBER	DRAINAGE AREA (AC.)	REQUIRED STORAGE VOLUME (C.F.)	CLEANOUT ELEV.	RISER & STORAGE VOL. ELEV.	RISER INV.	OUTFALL PIPE SIZE	SPILLWAY ELEV.	SPILLWAY LENGTH	SKIMMER DIA.	BASIN BOTTOM ELEV.	TOP OF BERM ELEV.
1	10.85	65,100	104.2	108.28	102.00	24"	109.25	74.0'	4.0'	102.00	110.75
2	14.52	87,120	144.75	149.52	142.25	24"	150.15	51.0'	5.0'	142.25	152.00
3	23.50	141,000	155.65	161.27	153.00	36"	160.45	107.0'	6.0'	153.00	163.00
4	18.85	113,100	186.20	189.77	185.00	12"	174.35	90.0'	5.0'	185.00	174.50



LAND DEVELOPMENT PLAN FOR WESTOVER SPORTING COMPLEX

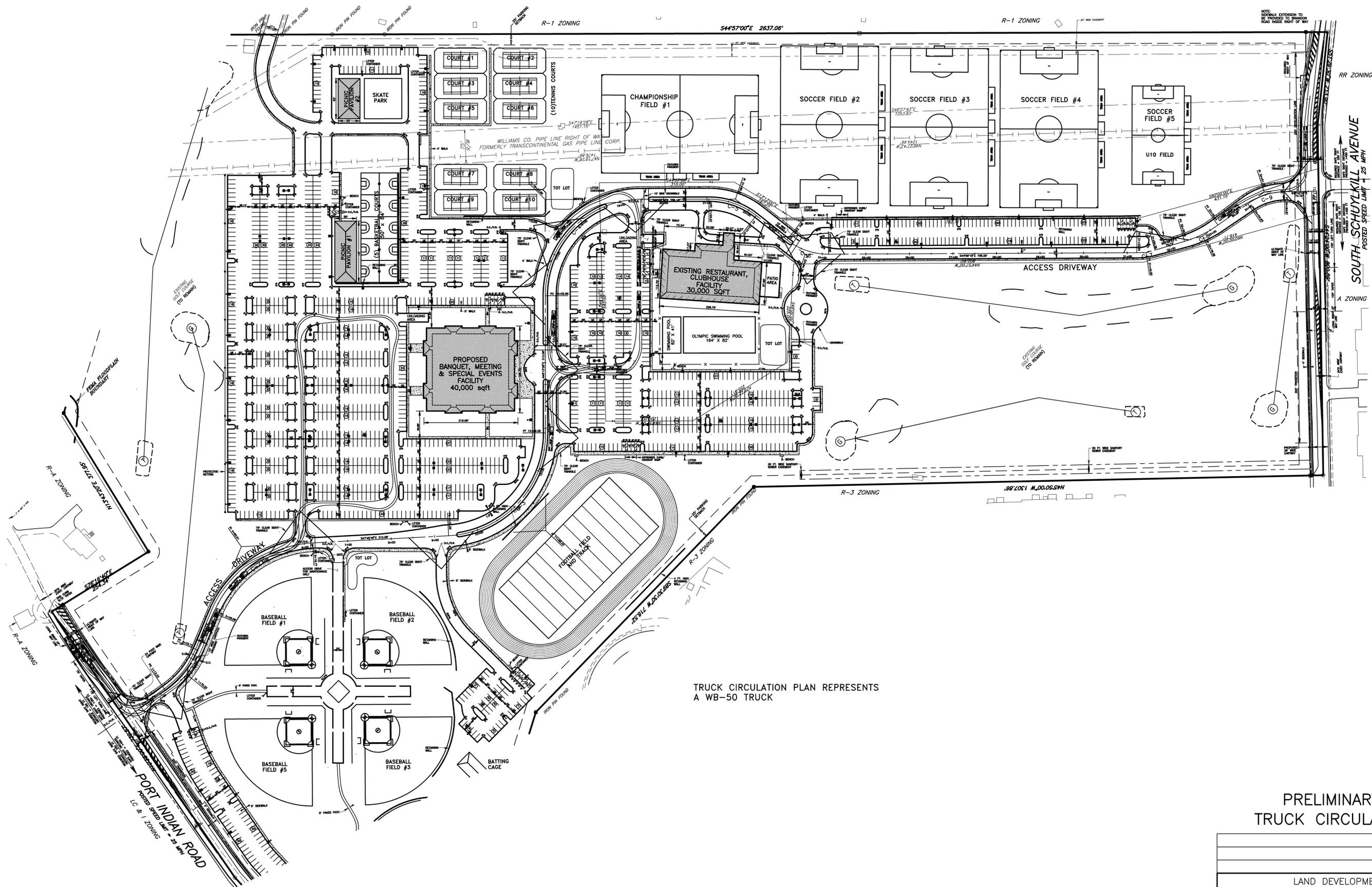
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

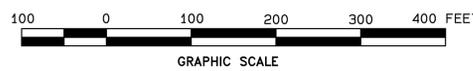
LIONVILLE PROFESSIONAL CENTER
125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Project- 2769
Date- 12-23-14
Scale- N/A
Drawn- SLM
Checked- A.J.B.
Sheet- 62 OF 63

Plotted: 2/20/2015 File: F:\JBL\2769\FPS\2769-SPORTS-2.prc Ver: 000



TRUCK CIRCULATION PLAN REPRESENTS
A WB-50 TRUCK



PRELIMINARY PLAN
TRUCK CIRCULATION PLAN

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

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EBW

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Date- 12-23-14
Scale- 1"=100'
Drawn- MF
Checked- A.J.B.
Sheet- 63 OF 63
Plotted: 2/20/2015 File: F:\JB\2769\FPS\2769-SPORTS-2.pro Ver.- 000

SOILS CLASSIFICATION

AbA - ABBOTTSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.
 LgB3 - LANDSDALE LOAM, THIN, 3 TO 8 PERCENT SLOPES, SEVERELY ERODED.
 LgC3 - LANDSDALE LOAM, THIN, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 LaA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 PIB2 - PENN-LANDSDALE LOAMS, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 PIB3 - PENN-LANDSDALE LOAMS, 3 TO 8 PERCENT SLOPES, SEVERELY ERODED.
 PIC3 - PENN-LANDSDALE LOAMS, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 ReA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 ReB2 - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 Rwa - ROWLAND SILT LOAM, LOCAL ALLUVIUM, 0 TO 3 PERCENT SLOPES.

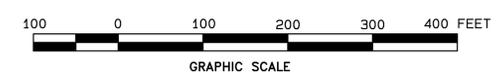
LEGEND

--- 430 ---	EXISTING INDEX CONTOUR
.....	EXISTING INTERIOR CONTOUR
x 400.00	EXISTING SPOT ELEVATION
====	EXISTING INLET
=====	EXISTING STORM SEWER PIPE
o	EXISTING MANHOLE
-----	EXISTING EDGE ROAD/PAVING
=====	EXISTING CURB
o	EXISTING SIGN
•	EXISTING UTILITY POLE
x x	EXISTING FENCE
o	EXISTING TREES
▭	EXISTING BUILDING
-----	EXISTING PIPELINE
-----	EXISTING STREAM/EDGE OF WATER
TBR	TO BE REMOVED
=====	POST DEVELOPED DARIANGE AREA
-----	INLET DRAINAGE AREA



MATCH LINE SEE SHEET 2

NOTE: ALL CARPATS ARE TO BE REMOVED OUTSIDE THE AREA OF THE GOLF COURSE THAT IS TO REMAIN.



MATCH LINE THIS SHEET

MATCH LINE THIS SHEET

**PRELIMINARY PLAN
 POST DEVELOPED
 DRAINAGE AREA PLAN**

LAND DEVELOPMENT PLAN FOR	
WESTOVER SPORTING COMPLEX	
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.	
Edward B. Walsh & Associates, Inc.	
CIVIL ENGINEERS & SURVEYORS	
LIONVILLE PROFESSIONAL CENTER	
125 Dowlin Forge Road Eaton, Pennsylvania 19341 Phone (610) 903-0060 Fax (610) 903-0080	
Plotted: 2/26/2015	File: F:\JIB\2769\FPS\2769-SPORTS-2.pro
Project- 2769	Date- 12-23-14
Scale- 1" = 100'	Drawn- SLM
Checked- A.J.B.	Sheet- 1 OF 2
Ver- 000	



NOTE: ALL CARTPATHS ARE TO BE REMOVED OUTSIDE THE AREA OF THE GOLF COURSE THAT IS TO REMAIN.

- SOILS CLASSIFICATION**
- AaA - ABBOTTSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES.
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 - LoC3 - LANDSDALE LOAM, THIN, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 - LbA - LAWRENCEVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
 - PiB2 - PENN-LANDSDALE LOAMS, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 - PiB3 - PENN-LANDSDALE LOAMS, 3 TO 8 PERCENT SLOPES, SEVERELY ERODED.
 - PiC3 - PENN-LANDSDALE LOAMS, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED.
 - RaA - READINGTON SILT LOAM, 0 TO 3 PERCENT SLOPES.
 - RaB2 - READINGTON SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED.
 - RwA - ROWLAND SILT LOAM, LOCAL ALLUVIUM, 0 TO 3 PERCENT SLOPES.

LEGEND

--- 4.30 ---	EXISTING INDEX CONTOUR
.....	EXISTING INTERIOR CONTOUR
X 400.00	EXISTING SPOT ELEVATION
====	EXISTING INLET
=====	EXISTING STORM SEWER PIPE
o	EXISTING MANHOLE
-----	EXISTING EDGE ROAD/PAVING
=====	EXISTING CURB
▽	EXISTING SIGN
•	EXISTING UTILITY POLE
- x - x -	EXISTING FENCE
☁	EXISTING TREES
▭	EXISTING BUILDING
-----	EXISTING PIPELINE
-----	EXISTING STREAM/EDGE OF WATER
TBR	TO BE REMOVED
=====	POST DEVELOPED DARIANGE AREA
-----	INLET DRAINAGE AREA

**PRELIMINARY PLAN
POST DEVELOPED
DRAINAGE AREA PLAN**

LAND DEVELOPMENT PLAN
FOR
WESTOVER SPORTING COMPLEX
WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

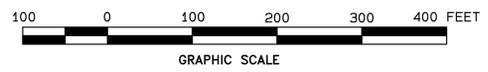
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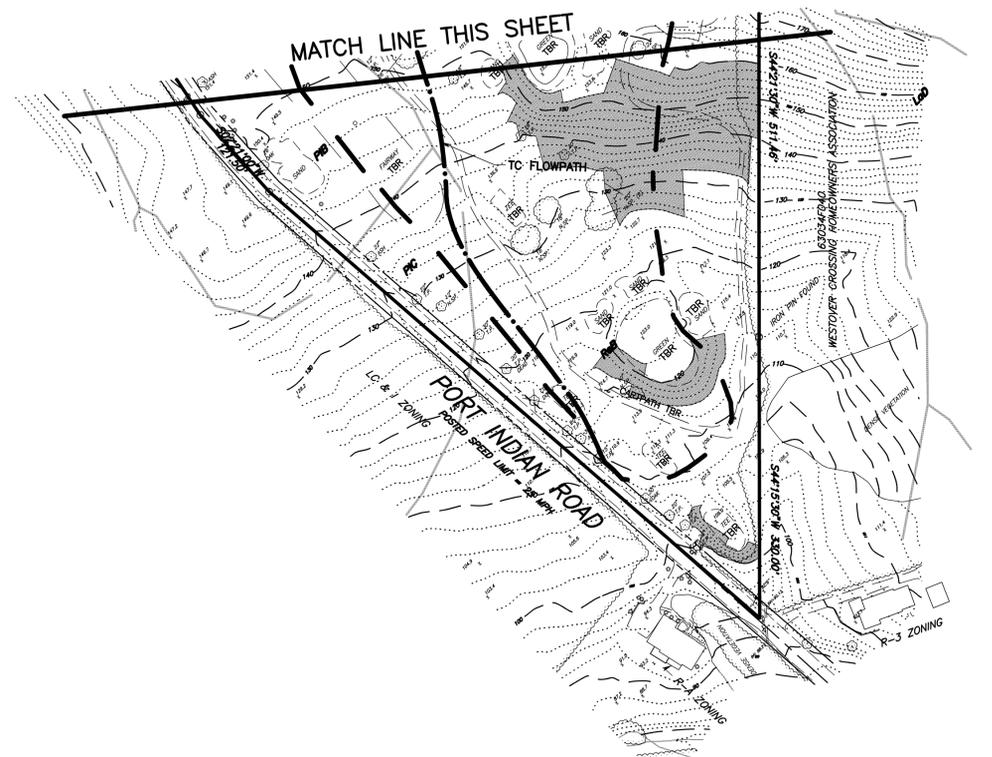


SOILS CLASSIFICATION

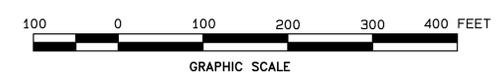
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LEGEND

- 430 --- EXISTING INDEX CONTOUR
- X 400.00 --- EXISTING INTERIOR CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING INLET
- EXISTING STORM SEWER PIPE
- EXISTING MANHOLE
- EXISTING EDGE ROAD/PAVING
- EXISTING CURB
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING FENCE
- EXISTING TREES
- EXISTING BUILDING
- EXISTING PIPELINE
- EXISTING STREAM/EDGE OF WATER
- TBR TO BE REMOVED



NOTE: ALL CARTPATHS ARE TO BE REMOVED OUTSIDE THE AREA OF THE GOLF COURSE THAT IS TO REMAIN.



**PRELIMINARY PLAN
 PRE DEVELOPED
 DRAINAGE AREA PLAN**

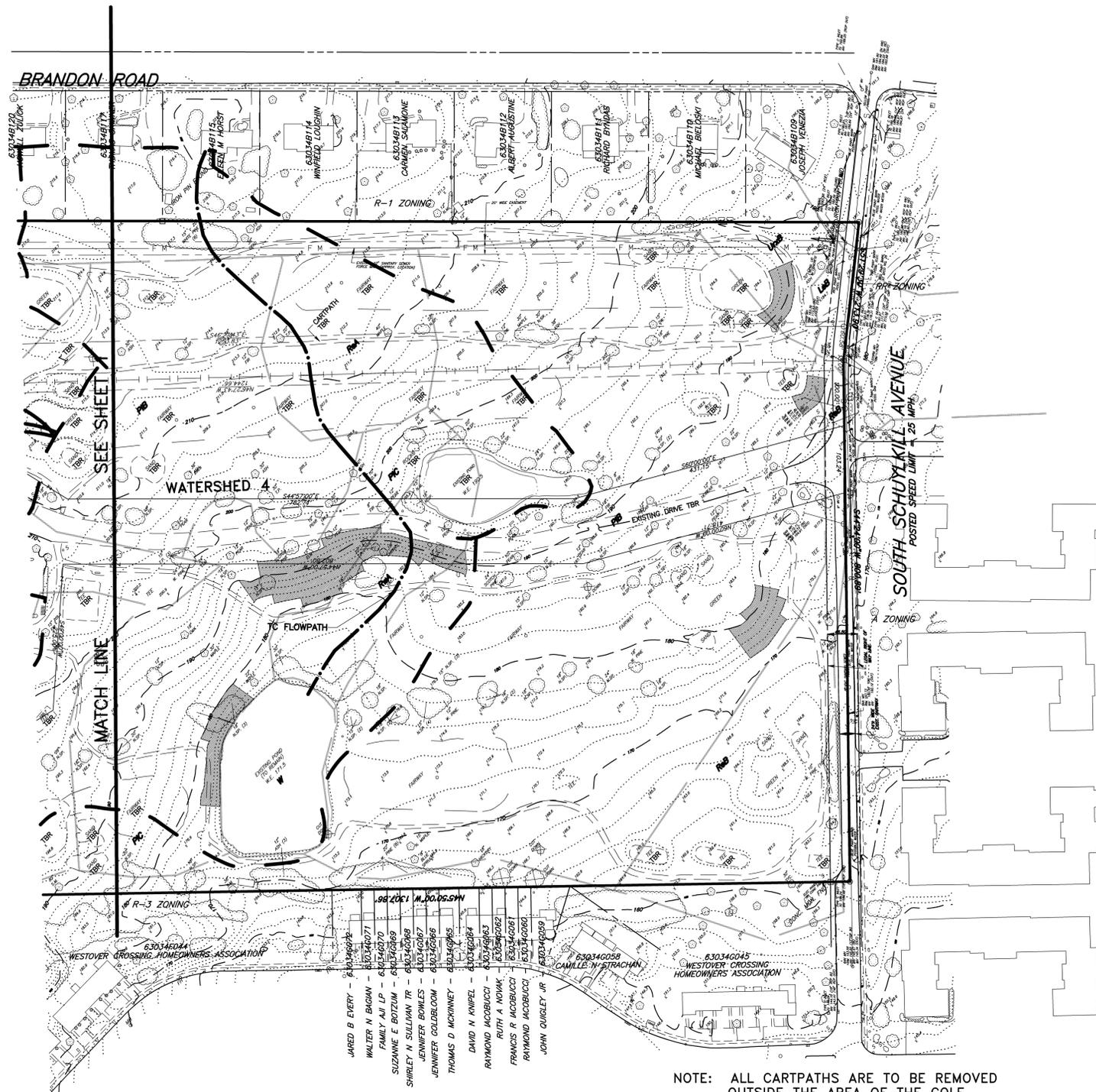
LAND DEVELOPMENT PLAN
 FOR
WESTOVER SPORTING COMPLEX
 WEST NORRITON TOWNSHIP MONTGOMERY COUNTY, PA.

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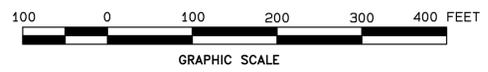
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 Checked- A.J.B.
 Sheet- 1 OF 2
 Plotted: 2/26/2015 File: F:\J\2769\FPS\2769-SPORTS-2.prc Ver.- 000



- JARED B EVERY - 630340078
- WALTER N BAGAN - 630340071
- FAMILY A/LP - 630340070
- SUZANNE E ROTZUM - 630340069
- SHIRLEY N SULLIVAN TR - 630340068
- JENNIFER BOWLES - 630340067
- JENNIFER GOLDBLOOM - 630340066
- THOMAS D MCKINNEY - 630340065
- DAVID N KNIPPEL - 630340064
- RAYMOND IACOBucci - 630340063
- RUTH A NOVAK - 630340062
- FRANCIS R IACOBucci - 630340061
- RAYMOND IACOBucci - 630340060
- JOHN OUGLEY JR - 630340059
- CAMILLE N STRACHAN - 630340058
- WESTOVER CROSSING HOMEOWNERS ASSOCIATION - 630340045
- WESTOVER CROSSING HOMEOWNERS ASSOCIATION - 630340044

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PRE DEVELOPED
DRAINAGE AREA PLAN

LAND DEVELOPMENT PLAN
FOR
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