



January 8, 2016

Mr. Jason M. Bobst
West Norriton Township
1630 W. Marshall Street
Jeffersonville, PA 19403

Re: **MARKLEY FARM PROPERTY**
2325 Chestnut Avenue
West Norriton Township, Montgomery County, Pa.
Job No. 96030

Dear Mr. Bobst:

In accordance with your request, we have reviewed the plans submitted for Preliminary Subdivision and Land Development approval for the subject project. The submission consisted of a plan set containing 34 sheets being dated November 6, 2015 and a Potential Tract Yield Concept Plan Layout dated May 24, 2013 and last revised September 11, 2015. The plans were prepared by Woodrow & Associates, Municipal/Civil Consulting Engineers. These plans illustrate the proposed development of the Markley Farm site as a seventy-nine (79) unit single-family detached Cluster Development subdivision.

The subject property is situated on a single lot having an area of 55.5618 acres. This lot is identified as Block 1 Unit 7, Tax Parcel No. 63-00-01108-008 by the Montgomery County Board of Assessment. The owner of record for the property is listed as Doris Y. & Ronald W. Markley Revocable Trust, 2325 Chestnut Avenue, Norristown, Pa 19403-3036. The applicant is Mikelen, LLC, c/o Leonard DelGrippe, P.O. Box 243, Fairview Village, PA 19409. The site is situated in the "R-2" Residence District of the township.

No stormwater design nor stormwater computations were submitted for review. We did not review for compliance to Chapter 26, Part 1 "Stormwater Management" of the West Norriton Township Code.

We offer the following comments concerning this submission.

ZONING ORDINANCE

1. The cluster subdivision option is permitted by Conditional Use only. We personally do not have a record of this approval as noted on Sheet 2. Please provide to us a copy of the resolution granting conditional use approval along with the conditions of this approval. ZO §27-504.A.

2. All five (5) categories of features outlined in ZO §27-505.C must be delineated on the plans. None of these are shown.
3. The method of ownership, along with the maintenance and operation responsibility, of the common open space and trail must be noted on the plan. ZO §27-505.E. & ZO §27-505.G.
4. A note must be added to the plans restricting the driveway access of multiple frontage lots to the street of lower classification. ZO §27-505.F(2)(k)(ii).
5. The reverse frontage lots must provide a rear yard in addition to the perimeter buffer. ZO §27-505.F(2)(k)(iii).
6. We recommend that the Potential Tract Yield Concept Plan Layout be included within the subdivision plan set. Note that this Yield Plan is different than that presented at the Conditional Use Hearing. ZO §27-505.F(2)(l).
7. The pedestrian access trail must be relocated out of the perimeter buffer along the Hines lot. ZO §27-505.F(2)(m).
8. A note must be added to the record plan requiring the deed restrictions outlined in ZO §27-505.G(2) and as found satisfactory to the township solicitor..
9. Are the new street to be offered for dedication to the township or are they to be private? ZO §27-505.I.
10. The restrictions to the use of the land within the clear sight triangle, along with the triangle size, must be noted on the plan.. ZO §27-1407.
11. Indicate on the record plan compliance with the two off street parking stall provision. ZO §27-1410.A.
12. The floodplain must be shown on the plans. ZO §27-2200.
13. The spacing of evergreens within the perimeter buffer is limited to eight feet; however the spacing shown is greater. Furthermore, the secondary components of the buffer in this section must also be included within said buffer. The entire perimeter buffer must be planted; not only opposite the proposed houses. ZO §27-505.F(2)(j) & ZO §27-606.

SUBDIVISION AND LAND DEVELOPMENT

1. Provide a copy of the title report all with copies of all of the exceptions contained therein. SLDO §602.2.B(8). ***

2. Provide a copy of the wetland's report along with the data sheets. SLDO §519.
3. An NPDES Stormwater Permit is required. ***
4. Street lights must be provided. Chapter 21 §502.4. ***
5. The standard recording certifications must be added to the plan. We will provide a copy of these. SLDO §602.2.C(8). ***
6. The easements must be a minimum width 20 feet and be described by meets and bounds. SLDO §509.4.A.
7. The minimum roadway centerline radius is 150 feet. Several radii are only 125 feet. SLDO §503.1.B(2).
8. The maximum depressed curb opening width is 18 feet and must be accordingly noted so. Chapter 21 §101.
9. The grass strip between the curb and sidewalk must be three feet wide. SLDO §505.1.C.
10. Plan views are required above all profiles. SLDO §602.1.B. ***
11. Provide profiles of all storm sewers. SLDO §601.5.A.
12. All storm sewers are required to be reinforced concrete pipe. SWM Appendix "A" - §C(2)(g)(iv).
13. The condition of the existing frontage curbs and sidewalks must be evaluated and accordingly repaired and/or replaced including the removal of existing curb depressions. SLDO §505. ***
14. A larger scale, like 1"=20', of the detailed plans of both frontage improvements to both Oakland Drive and Chestnut Avenue would be appreciated. The entire frontage along Chestnut Avenue must be widened, including in front of the Hines property. The terminus of the widening must be adequately signed and marked and gently tapered for traffic safety. SLDO §503.1.C(2). ***
15. All of the existing features must be shown of the grading plans. SLDO §601.3.B.
16. A snow removal easement must be provided within the cul de sac. SLDO §509.4.
17. I am concerned that the berming behind lot 1-10 may block the natural flow of surface runoff from the adjoining lots onto this property. SLDO §507.2.A.

18. Inlet 17 must be relocated about 60 feet southwesterly to the point of curvature of the curb. SLDO §511.1.A.
19. The uncontrolled runoff being directly discharged into the Chestnut Avenue storm sewer system must be first adequately controlled and detained before discharge. SLDO §106.3.D(7).
20. The uncontrolled runoff being directly discharged onto the Hines lot must be first adequately controlled and detained before discharge. SLDO §106.3.D(7)
21. The grading of the rear yard of lot 10 is too flat. SLDO §106.3.A. & SLDO §507.2.A.
22. The discharge from Basin C must be directed to the stream via a stable channel. SLDO §507.2.B.
23. The discharge from Basin B must be directed under the trail and to the stream via a stable channel. SLDO §507.2.B.
24. The Fire Marshal must approve the fire hydrant layout. SLDO §517.7. ***
25. Street signs (e.g. stop, no outlet, dead end, street name, no parking, etc.) must be provided along with their details and sizes. ***
26. Curb ramps must be detailed. SLDO §505. ***
27. Street trees must be spaced at 40 to 50 foot intervals. The spacing shown exceeds this. SLDO §515.
28. The condition of the existing trail bridge must be evaluated. SLDO §512. ***
29. We defer the landscaping review to E. Van Riker. SLDO §507.3
30. The sewer department should evaluate if additional land area is needed for the Chestnut Avenue Pumping Station. SLDO §513.
31. All inlets must have bike safe grates. SLDO §511.1.H.
32. The storm sewer system must be designed and supporting calculation submitted for review. SLDO §511.1.N.
33. A typical street cross section must be provided for both the interior streets and the widening of the frontage street. The paving must conform the ordinance;

however, the Superpave mixture must be used in lieu of the Marshall mixtures listed in the ordinance. SLDO §503.1.B(4)(e) & SLDO §503.1.D.

34. All of the inlet details shown on the plans must be substituted with the current RC Standard details. SLDO §516.
35. Roadway center line grades at 50 foot intervals (25 foot intervals within vertical curves) must be indicated on the plans. SLDO §602.1.B(2)(a) ***
36. We recommend the length of the summit and sag vertical curves must be reduced to 25 feet per degree to reduce the flatness. SLDO §503.1.B(3).
37. Provide street names. Correct the spelling of Barnwood Circle. SLDO §503.1.A(8). ***
38. The erosion and sediment control plans, notes and details are incomplete. A full review of the Erosion and Sediment Control Plan has not been performed at this time. SLDO §106.
39. The construction details are incomplete. SLDO §516. ***
40. A storm water report has not been submitted for review. Stormwater management has not been reviewed. SLDO §511.1.N.
41. The parallel occupation of storm and sanitary sewer lines must be removed from the buffers so not to interfere with the proposed landscaping. SLDO §509.2A.
42. The basin must be fenced. The fencing of the pond should be also discussed. SWM Appendix "A" - §B(21).
43. The pedestrian access trail must be relocated out of the perimeter buffer along the Hines lot and out of the pumping station driveway. SLDO §505.1.
44. The final disposition of the existing perimeter fencing must be addressed. SLDO §601.3.B.
45. Flow from the township's basin must be directed under the path. SLDO §507.2.B.
46. Provide sight distance calculations at all intersections. SLDO §503.1.E(5).
47. Indicate the post peed limits of the frontage streets. SLDO §503.
48. The reconstruction of the Harrow Circle cul de sac must be discussed. SLDO §503.1.C(1)(d).
49. A waiver request letter must be submitted. SLDO §502.2.

50. A financial security is required. SLDO §804. ***
51. We recommend eliminating the 4% grade on Road D so to ensure the approach grade to the intersection with Road C does not exceed 3%. SLDO §503.1.B(4)(d) & SLDO §503.1.E(6).
52. The widening of Chestnut Avenue must be dimensioned. SLDO §503.1.C(1)(b)(1).
53. The right of way of the cul de sac must terminate at the development boundary. SLDO §503.1.C(1)(d)(8).
54. Provide pavement base drains. SLDO §503.1.D(5). ***
55. All of the new street intersections with the existing streets form four way intersections; which normally are to be avoided. However, we understand and agree with the street intersection, as proposed. SLDO §503.1.E(1).
56. The restrictions to the use of the land within the clear sight triangle, along with their size, must be noted on the plan. SLDO §503.1.E(1). ***
57. The driveway paving must be detailed. SLDO §504.1.A(1). ***
58. The maximum driveway stopping area slope is 4%. Several driveways violate this provision. SLDO §504.2.A.
59. The driveways on Lots 65, 48, 49, and 79 are too close to the intersections. SLDO §504.2.B.
60. The minimum water main size is 8 inches. SLDO §517.
61. Corner lots are to be 1.5 times the minimum width of 80 feet, being 120 feet wide. Lots 41, 48 and 65 are too narrow. SLDO §507.1.D.
62. Double frontage lots are prohibited except along major street. SLDO §507.1.E.
63. No topsoil is to be removed from the site. SLDO §507.3.D.
64. Provide concrete monuments along both sides of all street rights of way at all beginning and ends of curbs. The monument must be detailed or equivalently specified. The tract perimeter must also be monumented or existing monumentation must be encased in concrete, SLDO §510.1.
65. Prove a local site benchmark. SLDO §510.2.

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66. All lots are to be pinned. The pins must be detailed or equivalently specified. SLDO §510.3.
 67. The Record Plan is missing several dimensions. Lot area print outs for all of the lots, open space streets and rights of ways would be appraised for our review. SLDO §601.1B.
 68. A Traffic Impact Fee is required. SLDO §1000.
 69. Dimension the setbacks for the existing Hines buildings to the property line. Do any of these encroach onto the subject property? If so, this should be rectified. SLDO §601.3.D.
- *** Being only a Preliminary Plan submission, these items may be deferred to the time of Final Plan submission.

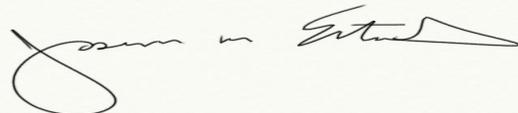
REQUIRED PERMITS AND APPROVALS.

The following permits and approvals are required.

1. A review of the landscaping plan by Mr. E. Van Rieker.
2. Approval by the West Norriton Township Sewer Department.
3. Sewage facilities planning approval from the PaDEP.
4. An NPDES permit for stormwater discharge must be obtained.
5. Approval by the Township Fire Marshal.
6. Both Land Development and Escrow Agreements must be prepared and recorded.

Should you have any further questions, please do not hesitate to contact me.

Very truly yours,



JOSEPH M. ESTOCK, P.E., P.L.S
Township Engineer

cc: Mr. Michael J. Valyo
Ms. Christen G. Pionzio